

Todd Weaver
1051 Lake Bell Dr, Winter Park, FL 32789
Parcel 02-22-29-0065-03-040 (see Exhibit J)

A significant amount of evidence attached here supports the conclusion that Todd Weaver has repeatedly, and as a Certified General Contractor, knowingly violated Winter Park law in the following manner:

- A. Enclosed an open car port sometime between 2005 and 2007 without a permit. (Also a likely violation of state statute [553.79\(1\)\(a\)](#) and [487.127\(1\)\(h\)](#).)
- B. Converted a 10x20 “shed” permitted when under Orange County jurisdiction in 2000 into a free-standing guest house with plumbing and a “complete kitchen” without a permit. (Also a likely violation of state statute [553.79\(1\)\(a\)](#) and [487.127\(1\)\(h\)](#).)
- C. Repeatedly violated Winter Park code by renting the free-standing guest house at least from 2016 through 2021. (Violating [Winter Park code Sec 58-71\(i\)\(8\)](#).) Todd Weaver continued to illegally rent his free standing guest house after acknowledging in 2016 that he violated the short term rental law, after being elected to the Winter Park City Commission, and after swearing an oath of office to uphold the laws of the State and City.

2000

Orange County permit number B00005934 dated 5/1/2000, sub permit E00007212. Storage addition to existing structure, 10’by 20’. See Exhibit A, B, and C.

This is the only permit for this property under Todd Weaver’s ownership in the Orange County building records. The permit is limited to electrical for the intended “storage building.” The permit shows this as an addition to a pre-existing shed.

2003

Lake Bell Drive Annexed into Winter Park effective September 8, 2003. See Exhibit D. Also, see City of Winter Park Ordinance 2531-03.

2005

Todd Weaver obtains a Florida license as a Certified General Contractor, license #1508730. See Exhibit E. Prior CGC license expired 1998. See Exhibit F. Certified General Contractors have a duty to obtain permits.

2005 – 2007

A permit is required to enclose a car port, yet no permit exists in either Orange County or Winter Park records. Overhead visuals of Weaver's property show that an open car port in 2005 was enclosed by 2007. See Exhibit I.

2016 or Prior

Todd Weaver begins renting out a "cottage" noted as having a bathroom and a kitchen having "glass stove top, convection/microwave oven, and fridge with icemaker." See Exhibit G

2018

AirBNB listing for Todd Weaver's "cottage" includes customer reviews confirming short term rentals at least from 2016 to 2018 in violation of Winter Park law. Weaver had establish sufficient rental history to be noted as an AirBNB "Superhost." See Exhibit G and [Winter Park code Sec 58-71\(i\)\(8\)](#).

2019

During a public election forum, Weaver's opponent in a City Commission election mentioned that he was not an AirBNB superhost, never noting that Weaver had been so designated. Soon after, the opponent received a threatening email from Weaver claiming his rental was "perfectly-legal" because he at some point noted a 30-day minimum rental, even though the evidence is clear that his tenants were renting for less than 30 days. See Exhibit G page 17.

Further, [Winter Park code Sec 58-71\(i\)\(8\)](#) makes it illegal for a guesthouse to have a kitchen or to be rented under any circumstance. The code states, "Guesthouses or garage apartments as permitted accessory uses may not have a kitchen area or

cooking facilities. They also may not have separate utility meters or be rented, let or hired out for occupancy whether compensations be paid directly or indirectly.”

Weaver also claimed in his email that he donated rental income from the property to local charities but did not provide evidence of same.

2019 – 2021

An anonymous person has sent numerous emails to the city related to code violations at 1051 Lake Bell Drive, including license numbers of probably renters of Todd Weaver’s “cottage.” A 2019 response from the city code officer quotes Weaver as claiming without evidence that the plumbing was present when his property was annexed into the city and thus “grandfathered.” The writer of the anonymous emails notes that the complete build out of the original “shed” to include an illegal “kitchen” and rental unit is not supported by any permits. The writer also presents evidence that the existing enclosed garage was a carport as of July 2005, noting that there are no permits issued to enclose the garage. See Exhibit H.

2021

Orange County code official confirms that while under Orange County jurisdiction, Todd Weaver did not have a “Special Exception” permit to be an Accessory Dwelling Unit (ADU) or Guest Cottage. Further, Orange County code as with Winter Park code did not and does not allow either a permitted Accessory Dwelling Unit or Guest Cottage to have a kitchen or be rented separately from the main house as has been done by Todd Weaver repeatedly at least since 2016. See exhibit A.

Exhibit A

From: Jennifer.Moreau@ocfl.net <Jennifer.Moreau@ocfl.net>
Sent: Monday, November 8, 2021 12:08 PM
Subject: 1051 Lake Bell Drive

As discussed, attached is a permit for a storage building from 2000., including the electrical sub permit.

Our research shows that this property was part of a neighborhood annexation in 03/04, and Ordinance 2531-03 became effective on March 31, 2004 (we're waiting on the City of Winter Park to confirm that date.) At the time of annexation, the neighborhood was zoned R-1A in Orange County. In both 1998 and 2003, this R-1A District permitted Accessory Dwelling Units (ADU), as well as guest cottages with a maximum living area of 500 sf both by special exception only. In neither year were short term or single-family transient rental permitted in the R-1A District. There is no record of a Special Exception on this property, for an ADU or anything else.

See below for definitions and standards in the code at that time:

Accessory Dwelling Units - Permitted by Special Exception. ADUs defined as intended to allow a relative to live in close proximity to the family. Additional conditions say it has to be rented initially to a family member and can only be rented to someone else after 3 years from the original C/O of the ADU or once the family member dies.

Guest cottage with maximum 500 sf living area - Permitted by special exception. Use is defined as living quarters within a detached accessory structure to be used exclusively for housing members of the family occupying the principal building and their non-paying guests. Not permitted to have kitchens or be rented out separately.

Single-family transient rental - Not Permitted. Defined as renting or leasing of a single-family dwelling for a period of less than 30 days.

Please let me know if you have any additional questions.

Thanks,

Jennifer Moreau, AICP
Manager, Zoning Division
Planning, Environmental and Development Services Department
201 S. Rosalind Avenue, First Floor
Orlando, FL 32801
Division - 407-836-3111
Office - 407-836-5856
Fax - 407-836-9611

B 00005934

Orange County Building Department
201 South Rosalind Avenue
Reply To: Post Office Box 2687 • Orlando, Florida 32802-2687
Phone: (407) 836-5560 • Inspections ONLY: (407) 836-2825



PERMIT NUMBER
00005934

APPLICATION FOR LAND USE/BUILDING PERMIT

PERMIT NUMBER

PLEASE PRINT
PROJECT ADDRESS 1051 LAKE BELL DRIVE SUITE/UNIT WINTER PARK ZIP 32789
PROPERTY OWNER TODD & JANICE WEAVER PHONE (407) 539 0478
OWNER'S ADDRESS 1051 LAKE BELL DRIVE, WINTER PARK STATE FL ZIP 32789
CONTRACTOR OWNER LICENSE NO. _____ PHONE (407) 539 0478
ARCHITECT _____ LICENSE NO. _____ PHONE _____
CIVIL ENGINEER RICHARD B. RICHARDSON LICENSE NO. _____ PHONE (407) 425 4002
NATURE OF PROPOSED IMPROVEMENTS STORAGE BLDG ERECTION 10X20

FOR ZONING DEPARTMENT USE ONLY:

TAX ID. NUMBER SEC 02 TWP 22 (S) RNG 29 (E) SUB 0065 B&L 03040 COORDINATE _____
(15 Digit Parcel Number)
LEGAL DESCRIPTION LOT 4 BLOCK C SUBDIVISION Albert Lee 2nd Add. P.B./Pg. 4/10
ZONING CLASS. R-1A HEIGHT LIMIT 15. NO. OF PARKING SPACES - DATE 5/1/00
ZONING TECH. Tom Miller FLOOD PERMIT NO. _____ N.F.A. NO. _____
FL.U. DESIGNATION _____ SIDEWALKS REQ'D. (y/n) _____ PAVED DRIVE REQ'D. (y/n) _____
YARDS - F: R: 5 S: 7.5 SS: _____ MAJOR STS - Bld: _____ PRKG: _____ CVR C#: _____
SPECIAL CONDITIONS: Not to encroach any easements ac +

FOR BUILDING DEPARTMENT USE ONLY:

NATURE OF WORK: 001 CONSTRUCTION TYPE: 001
DATE OF APPLICATION 05/01/2000 DATE READY TO ISSUE 05/01/2000
OWNER EST. VALUE \$ 5000.- BLDG. DEPT. VALUE \$ 3500.-
OCCUPANCY GROUP R3 # BLDG. 1 # UNITS 1 # STORIES 1
TOTAL SQ. FT. 200.- SQUARE FEET/FLOOR _____
MAX FLOOR LOAD _____ MAX. OCC'PNCY. _____
MIN. FLOOD ELEV. _____ SEER _____
SUBMITTAL FEE \$ _____ COP _____
RECEIPT # _____ AUTHORIZATION # _____
REG. PERMIT FEE \$ 45.- LOW. FLOOR ELEV. _____
IMPACT - LAW \$ _____ WATER SERVICE _____
IMPACT - FIRE \$ _____ WASTEWTR. SRVC. _____
IMPACT - ROAD \$ _____ REVIEWER duk
IMPACT - SCHOOLS \$ _____
RADON FEE \$ 2.00 O.C. WATER & WASTEWATER ACCTG. DEPT. FEES PAID IN FULL
VIOLATION \$ _____ AS OF _____ BY _____
OTHER FEES \$ _____ AUTH. NO. _____

TYPE OF STRUCTURE: 019
DATE ISSUED 05/01/2000 BY duk
SPRINKLERS REQ'D YES NO
C/O REQUIRED YES NO
GOV'T. OWNED YES NO
THRESH INSP. REQ'D. YES NO
PLAN (FORMAT? A) YES NO
OTHER PERMITS REQ'D YES NO
ELECTRICAL YES NO
MECHANICAL YES NO
PLUMBING YES NO
ROOFING YES NO
GAS YES NO
HOLD C/O: YES NO DEP. REV. FEE:
ZONING YES NO \$ 6.12
ENGINEERING YES NO \$ _____
FIRE LOSS MGT. YES NO \$ _____
PUBLIC UTILITY YES NO \$ _____
ENVIRO. PROT. YES NO \$ _____
PLANNING YES NO \$ _____
HEALTH YES NO \$ _____
BUILDING YES NO \$ 35.-
FINANCE YES NO \$ _____
STORMWATER YES NO \$ _____

DO NOT WRITE BELOW THIS LINE - FOR OFFICE USE ONLY

I hereby make Application for Permit as outlined above, and if same is granted I agree to conform to all Building Department Regulations and County Ordinances regulating same and in accordance with plans submitted. The issuance of this permit does not grant permission to violate any applicable Orange County and/or State of Florida codes and/or ordinances.

Personally appeared Todd Weaver, who on oath says, that he/she is the applicant for the foregoing, that all the above statements are true to the best of her/his knowledge, and that the work to be done is authorized by the owner and will be done by contract with _____ Contractor/Owner.

NAME _____ ADDRESS _____
ZIP _____

SWORN TO AND SUBSCRIBED BEFORE ME THIS _____ DAY OF _____, 19 _____ NOTARY PUBLIC, ORANGE COUNTY, FLORIDA

THIS APPLICATION WAS TRANSMITTED BY FACSIMILE ON _____ (Date/Time)

Application Approved by _____

Contractor's State Certification or Registration No. _____ Contractor's Certificate of Competency No. _____

Certificate of Competency Holder

(SEAL)

(SEAL)

My Commission expires: _____

State of FL, County of _____

Commission No. _____

Notary as to Owner _____

did not take an oath.

as identification and who _____

known to me and who produced _____

by _____ who is personally _____

The foregoing instrument was acknowledged before me this ____ / ____ / ____

Signature _____

My Commission expires: _____

State of FL, County of _____

Commission No. _____

Notary as to Cont. _____

did not take an oath.

as identification and who _____

known to me and who produced _____

by _____ who is personally _____

The foregoing instrument was acknowledged before me this ____ / ____ / ____

Signature _____

WARNING TO OWNER: Your failure to record a Notice of Commencement may result in your paying twice for improvements to your property. If you intend financing, consult with your lender or an attorney before recording your Notice of Commencement.

OWNER'S AFFIDAVIT: I certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and zoning.

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for ELECTRICAL WORK, PLUMBING, SIGNS, POOLS, MECHANICAL, ETC.

Mortgage Lender's Address _____

Mortgage Lender's Name _____

Architect/Engineer's Address _____

Architect/Engineer's Name _____

City _____ State _____ Zip Code _____

Bonding Company Address _____

Bonding Company Name _____

City _____ State _____ Zip Code _____

Job Address _____ SUTTE/UNIT _____

Job Name _____

City _____ State _____ Zip Code _____

Contractor's Address _____

Contractor's Name _____

City _____ State _____ Zip Code _____

Fee Simple Titleholder's Address (If other than owner's) _____

Fee Simple Titleholder's Name (If other than owner's) _____

Owner's Address _____

Owner's Name _____

Building Permit Application Information

To be completed as required by State Statute Section 713 and other applicable sections.

RICHARDSON
ENGINEERING

191 Zelma Street
Orlando, Florida
(407) 425-4002

B00059354

REVISED

Coll

12" OVERHANG
3 PL

REVISION A

STORAGE BUILDING PLANS

JAN AND TODD WEAVER RESIDENCE
MAILING ADDRESS: 1051 LAKE BELL DRIVE
WINTER PARK, FL 32789

ORANGE COUNTY, FLORIDA

JULY 13, 2000

SHEET 2 OF 7

DETAIL D
SEE SHEET 5

SEE SHT 4 C

SEE SHT 4 B

SEE SHEET 7 E

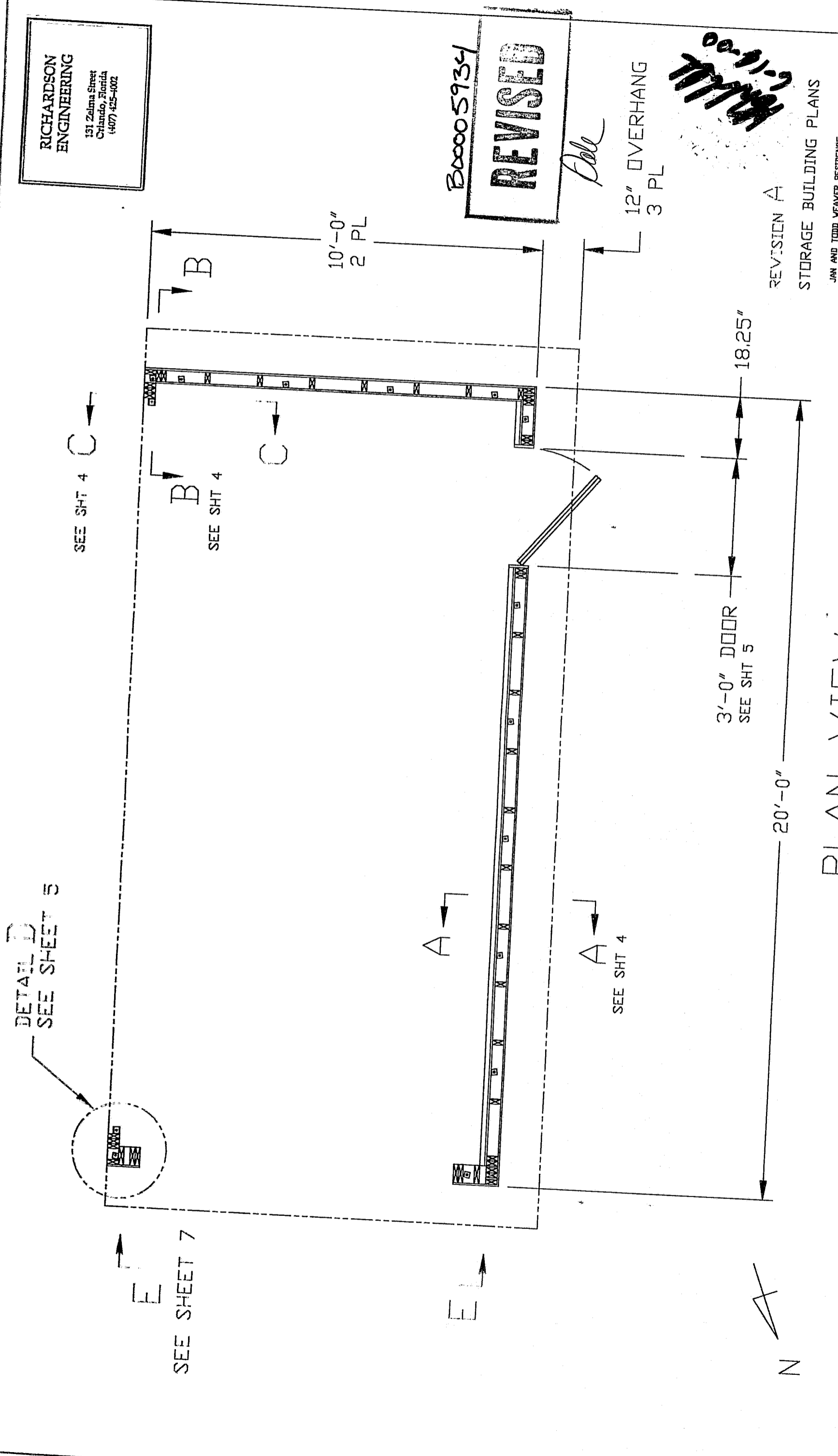
10'-0"
2 PL

3'-0" DOOR
SEE SHT 5

18.25"

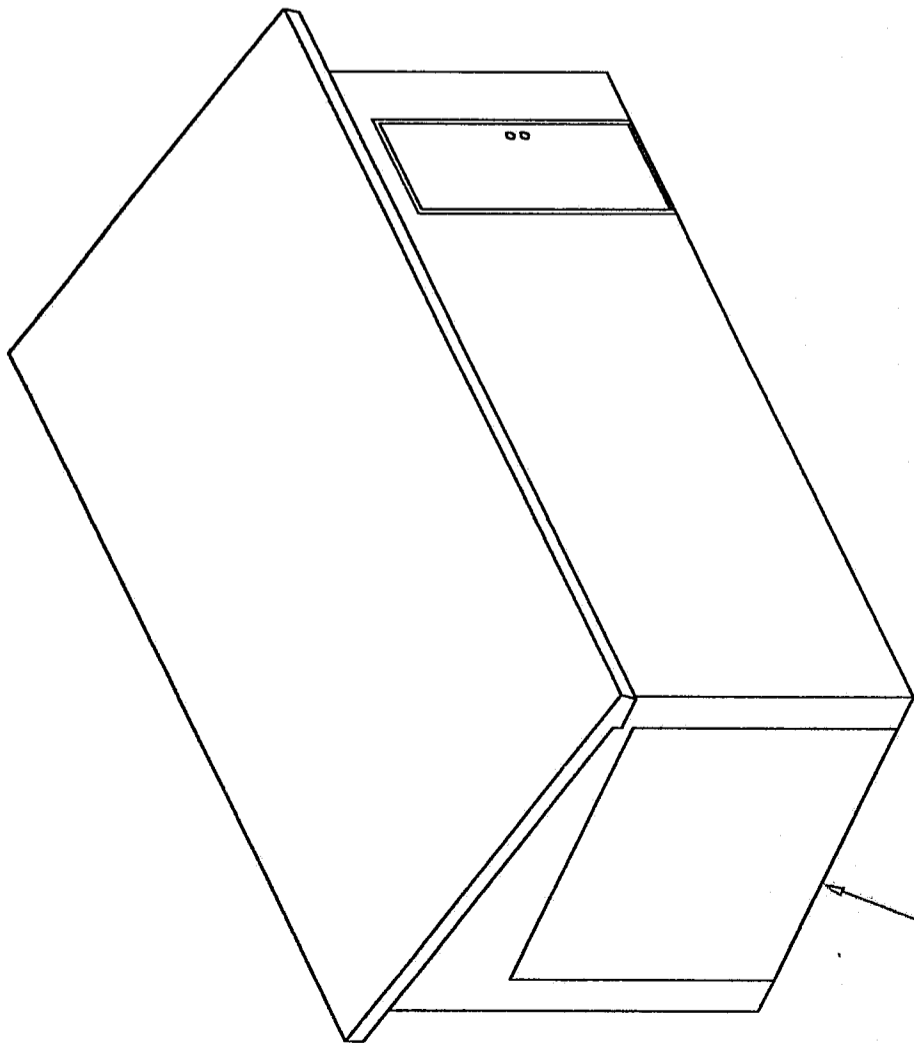
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PLAN VIEW



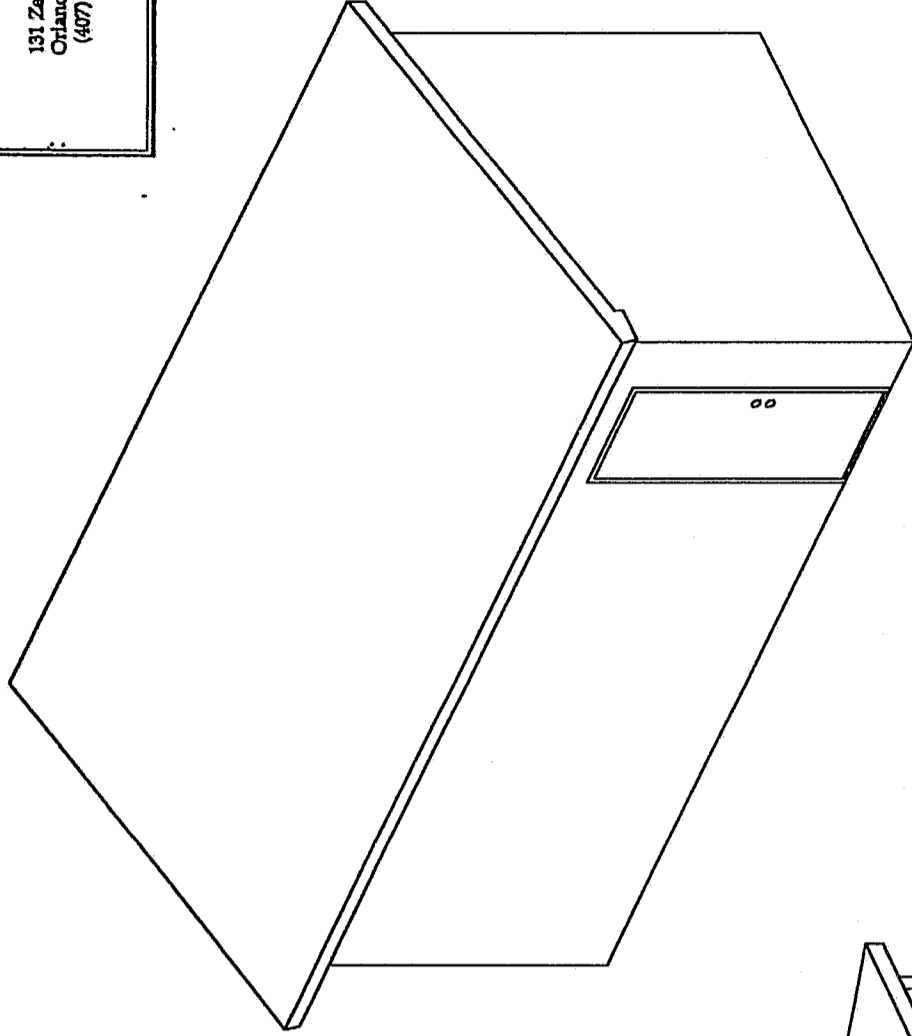
RICHARDSON
ENGINEERING

131 Zelma Street
Orlando, Florida
(407) 425-1002

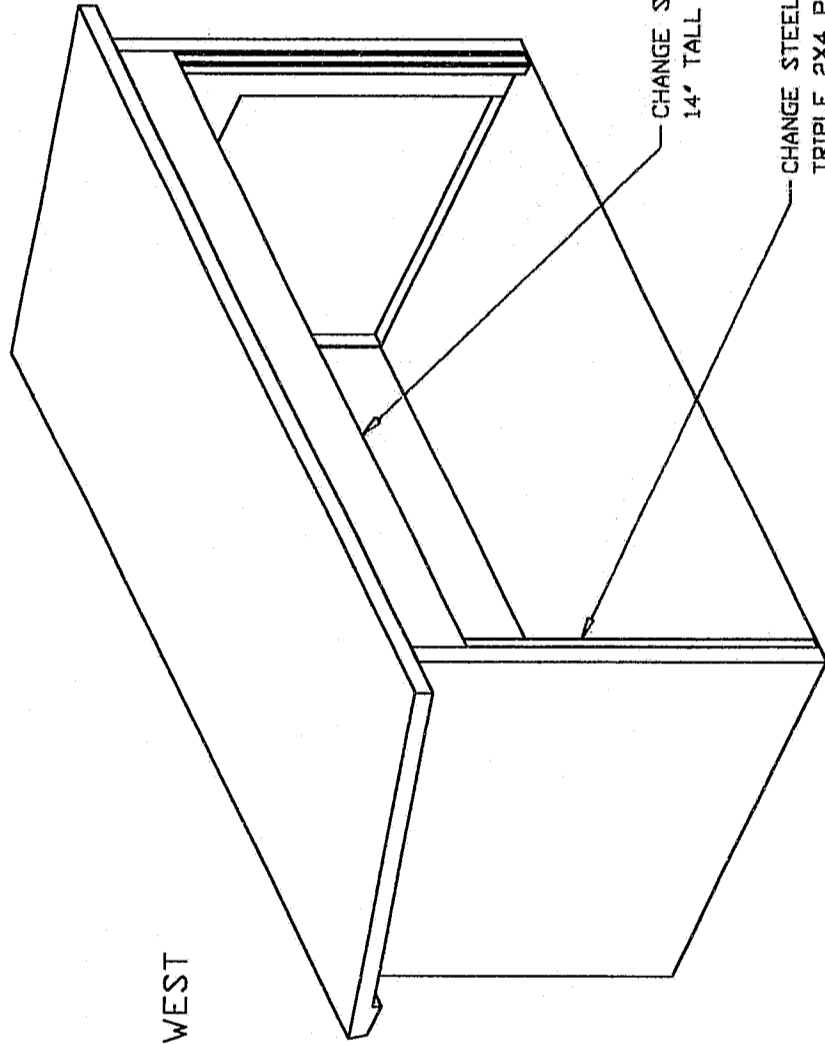


VIEW FROM NORTHWEST

ADD 96' WIDE X 84' TALL DOOR OPENING



VIEW FROM SOUTHWEST



VIEW FROM SOUTHEAST

CHANGE STEEL I-BEAM TO
14' TALL X 3-1/2' WIDE PARALLAM BEAM

CHANGE STEEL 4X4 POST TO
TRIPLE 2X4 POST (2 PLACES)

REVISED

REVISION A

STORAGE BUILDING PLANS

JAN AND TODD WEAVER RESIDENCE
MAILING ADDRESS: 1051 LAKE BELL DRIVE
WINTER PARK, FL 32789

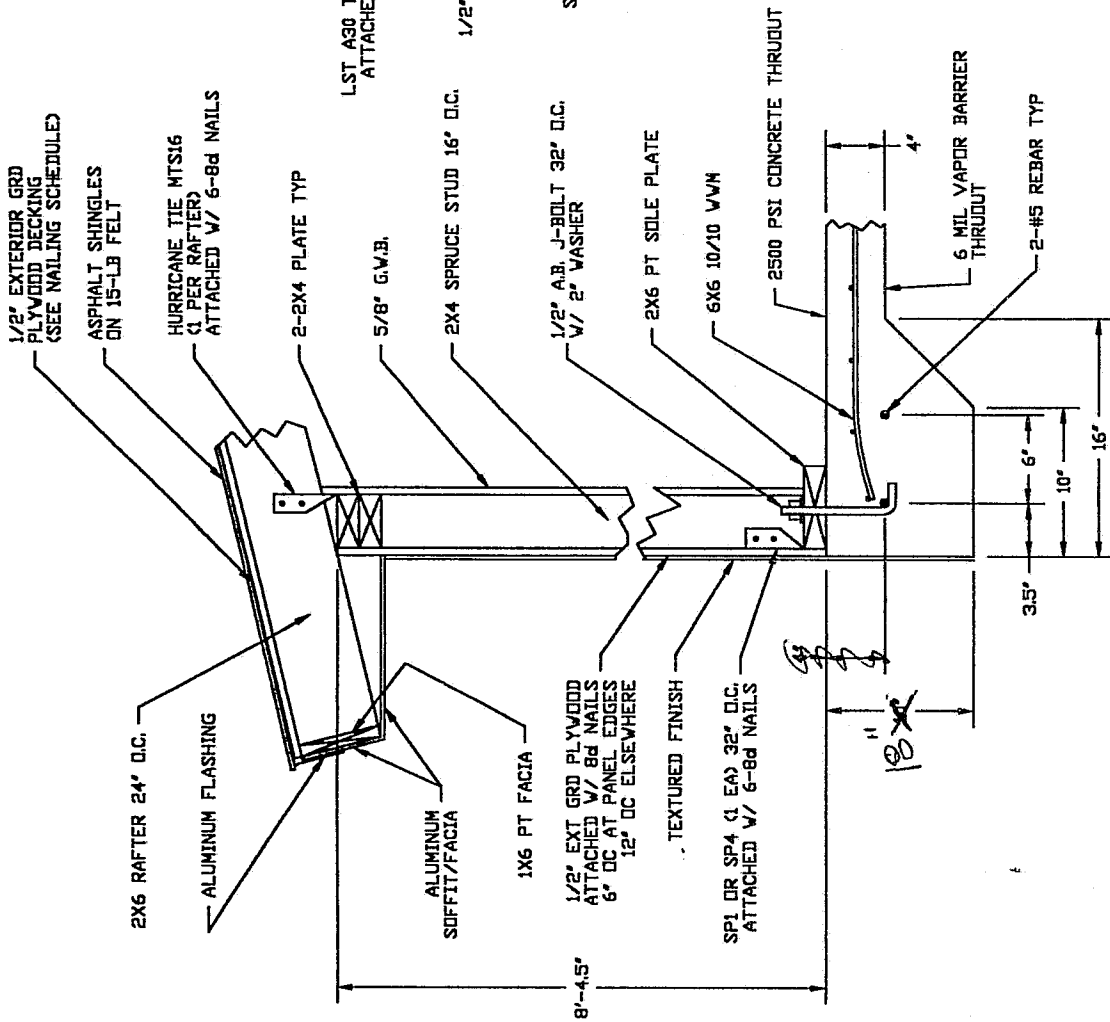
ORANGE COUNTY, FLORIDA

JULY 13, 2000

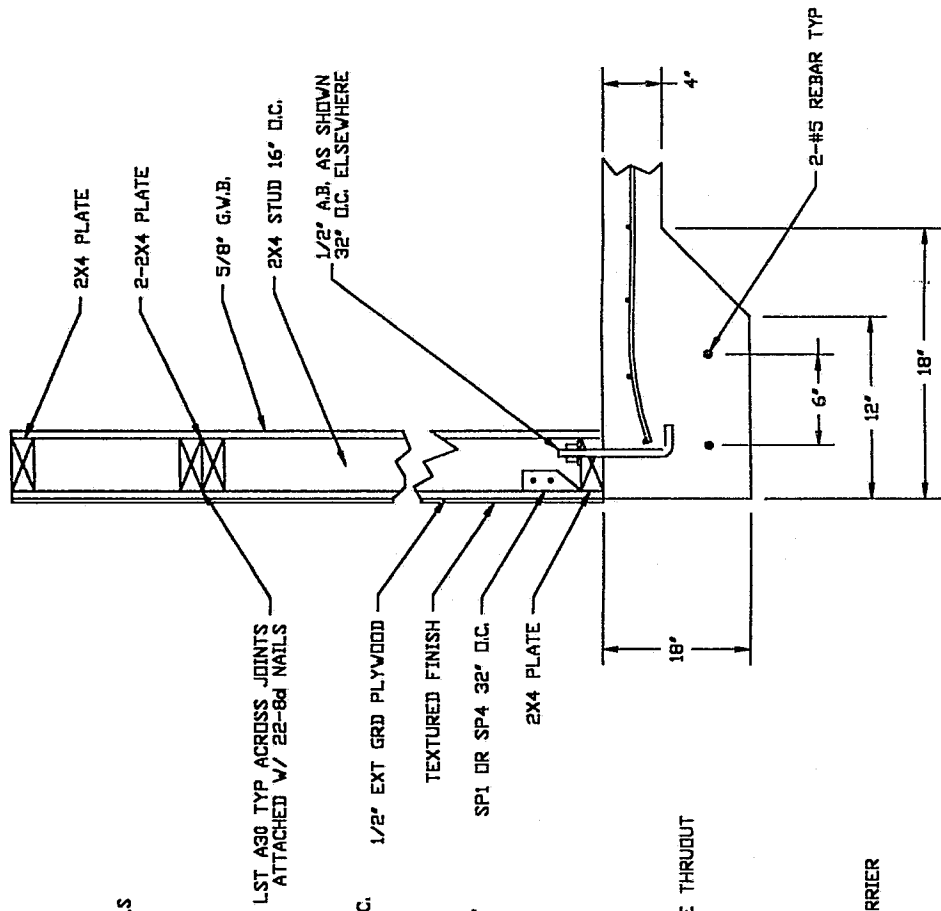
SHEET 3 OF 7

**RICHARDSON
ENGINEERING**

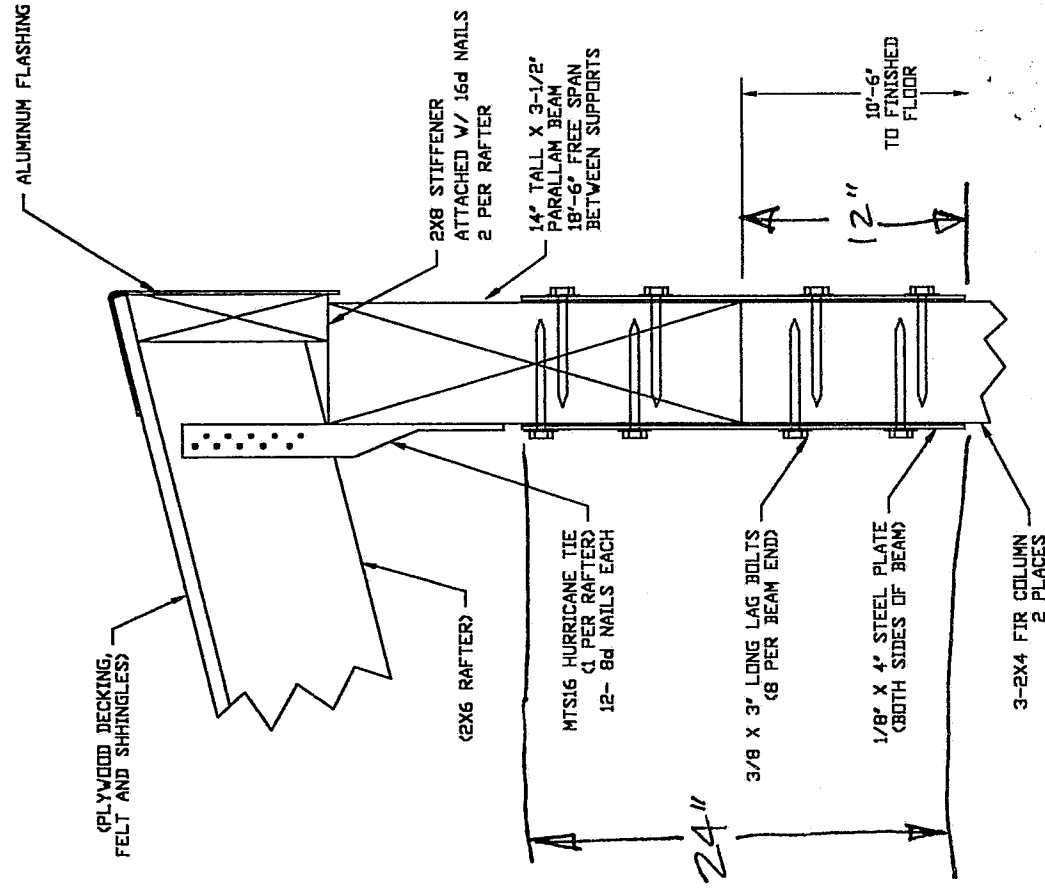
131 Zelma Street
Orlando, Florida
(407) 425-4002



SECTION A-A
WEST (BEARING) WALL



SECTION B-B
NON-SUPPORTING WALLS AND
SUPPORT COLUMN DETAIL
TYPICAL OF NORTH AND SOUTH WALLS



SECTION C-C
ROOF SUPPORTING BEAM
AND RAFTER TIE DETAIL

REVISED

REVISION A
STORAGE BUILDING PLANS

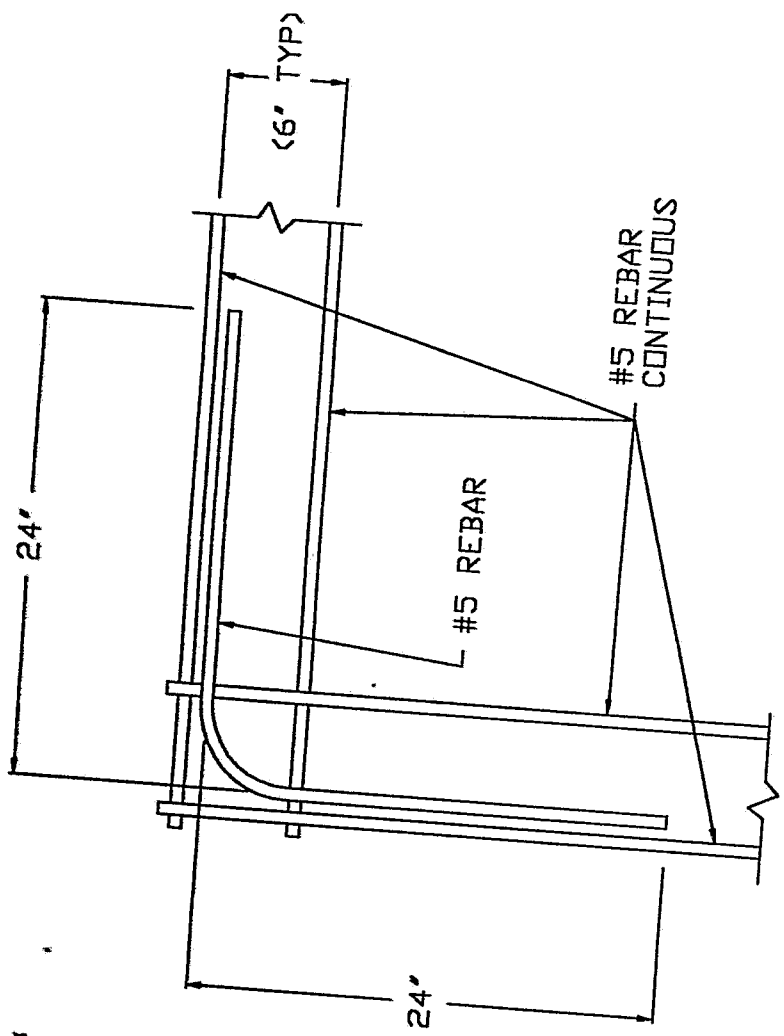
JAN AND TODD WEAVER RESIDENCE
MAILING ADDRESS 1001 LAKE BELL DRIVE
WINTER PARK, FL 32789

ORANGE COUNTY, FLORIDA

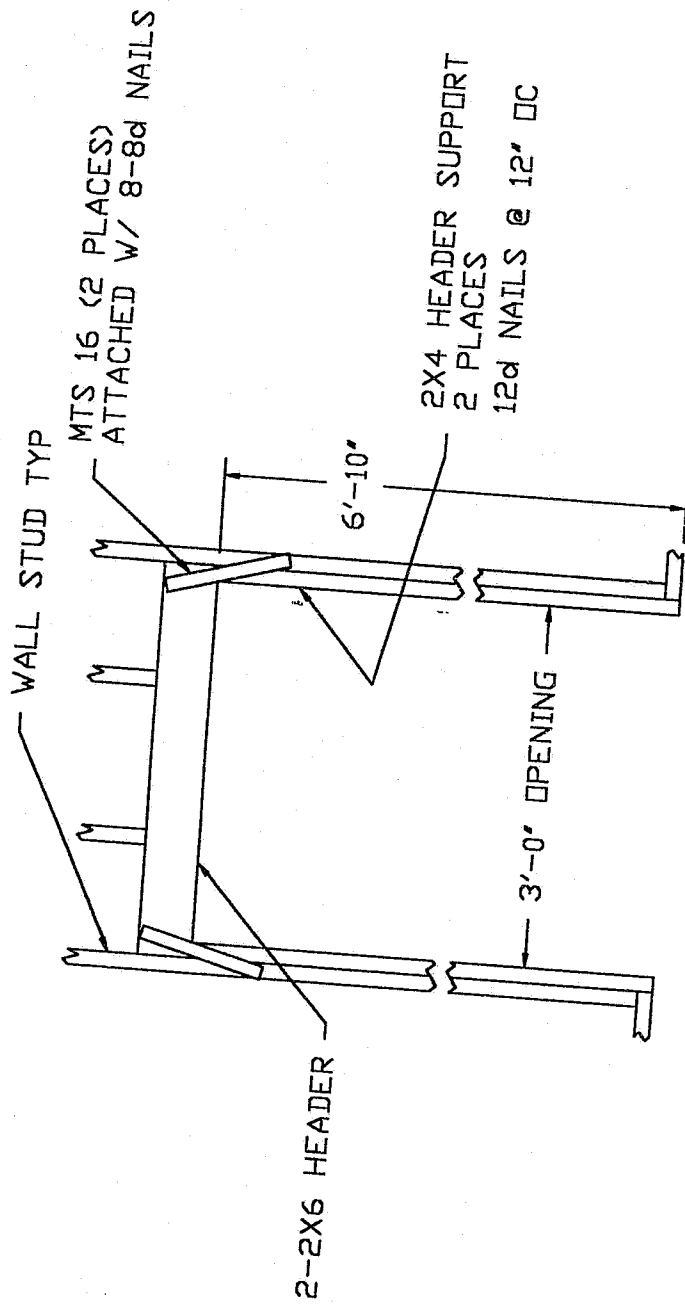
JULY 13, 2000

SHEET 4 OF 7

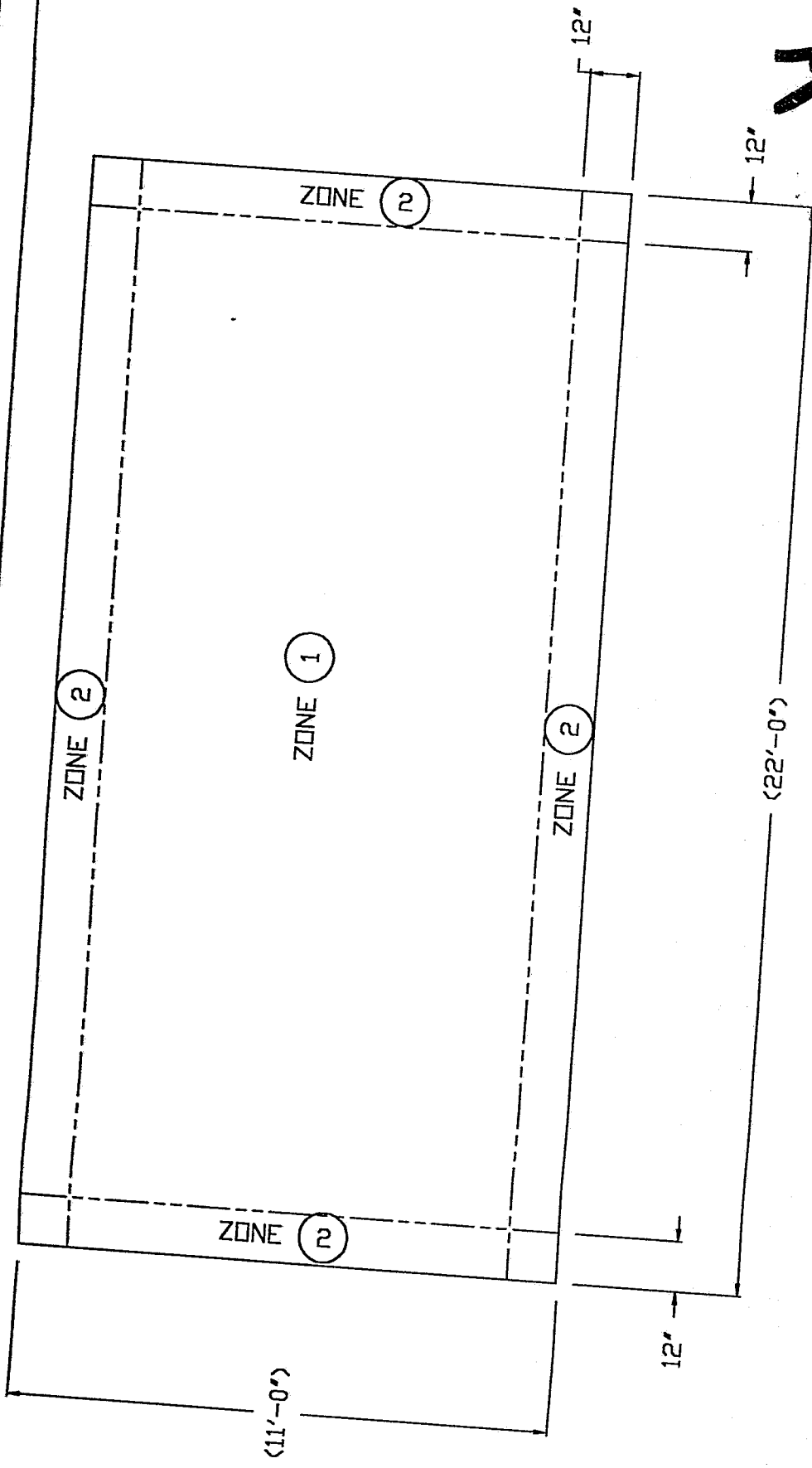
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CORNER FOOTING DETAIL



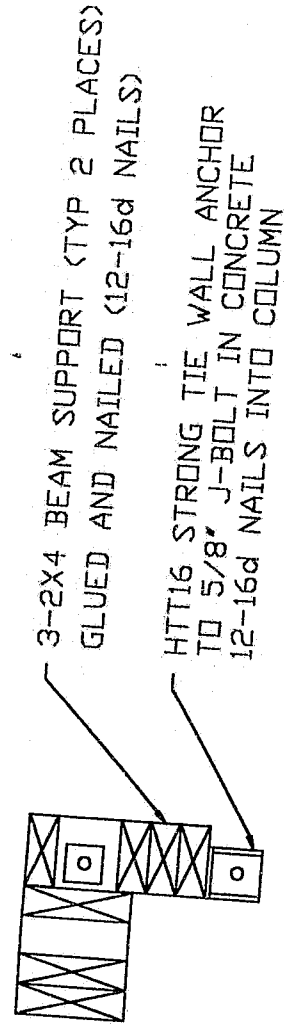
DOOR FRAMING DETAIL
ALL ATTACHMENTS: 12d NAILS (2 PER JOINT)



ROOF SHEATHING NAILING SCHEDULE

ROOF SHEATHING NAILING ZONE NOTES:

- ZONE 1 USE 8d COMMON NAILS @ 6" OC AT EDGES AND 12" OC INTERMEDIATE
- ZONE 2 USE 8d COMMON NAILS @ 6" OC (ALL FIELDS)



DETAIL D (COLUMN TO FLOOR ATTACH)
TYPICAL 2 PLACES

**RICHARDSON
ENGINEERING**
131 Zeina Street
Orlando, Florida
(407) 425-4002

REVISION A

STORAGE BUILDING PLANS

JAN AND TODD WEAVER RESIDENCE
MAILING ADDRESS: 1051 LAKE BELL DRIVE
WINTER PARK, FL 32789
ORANGE COUNTY, FLORIDA
JULY 13, 2000








SHEET 5 OF 7

REVISED

**RICHARDSON
ENGINEERING**

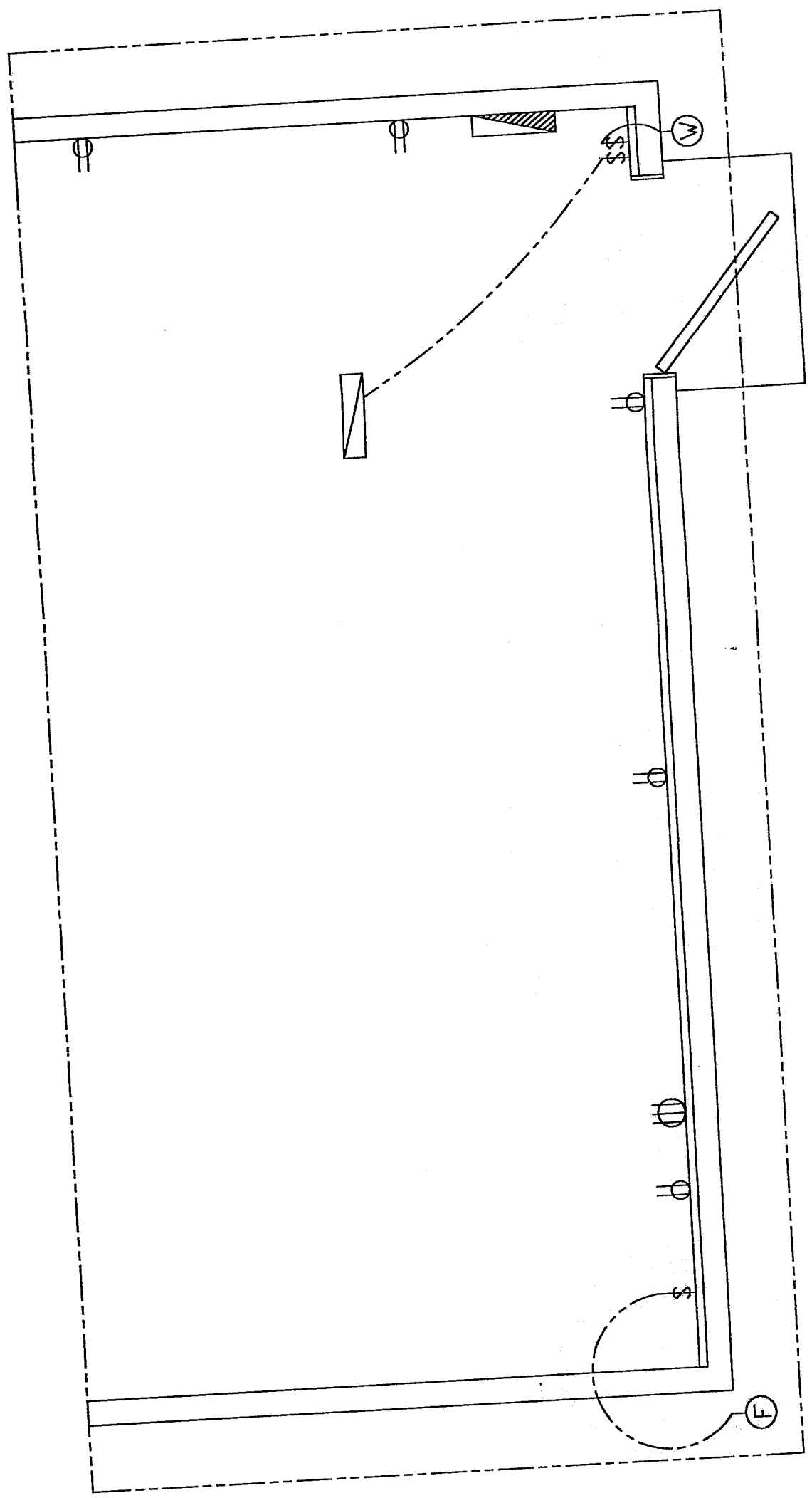
131 Zelma Street
Orlando, Florida
(407) 425-4002

ELECTRICAL LEGEND

-  CEILING MOUNTED FLUORESCENT LIGHT
-  GROUND FAULT INTERRUPT DUPLEX OUTLET
-  WALL SWITCH
-  EXTERIOR WALL-MOUNTED LIGHT
-  EXTERIOR SOFFIT-MOUNTED FLOODLIGHT
-  220-VAC OUTLET (25 AMP)
-  ELECTRICAL PANEL

Handwritten: 7/13/00
M. K. K.

REVISED



REVISION A
STORAGE BUILDING PLANS
JAN AND TODD WEAVER RESIDENCE
MAILING ADDRESS: 1051 LAKE BELL DRIVE
WINTER PARK, FL 32789
ORANGE COUNTY, FLORIDA
JULY 13, 2000

ELECTRICAL PLAN

00-61-9
Y.M.H.

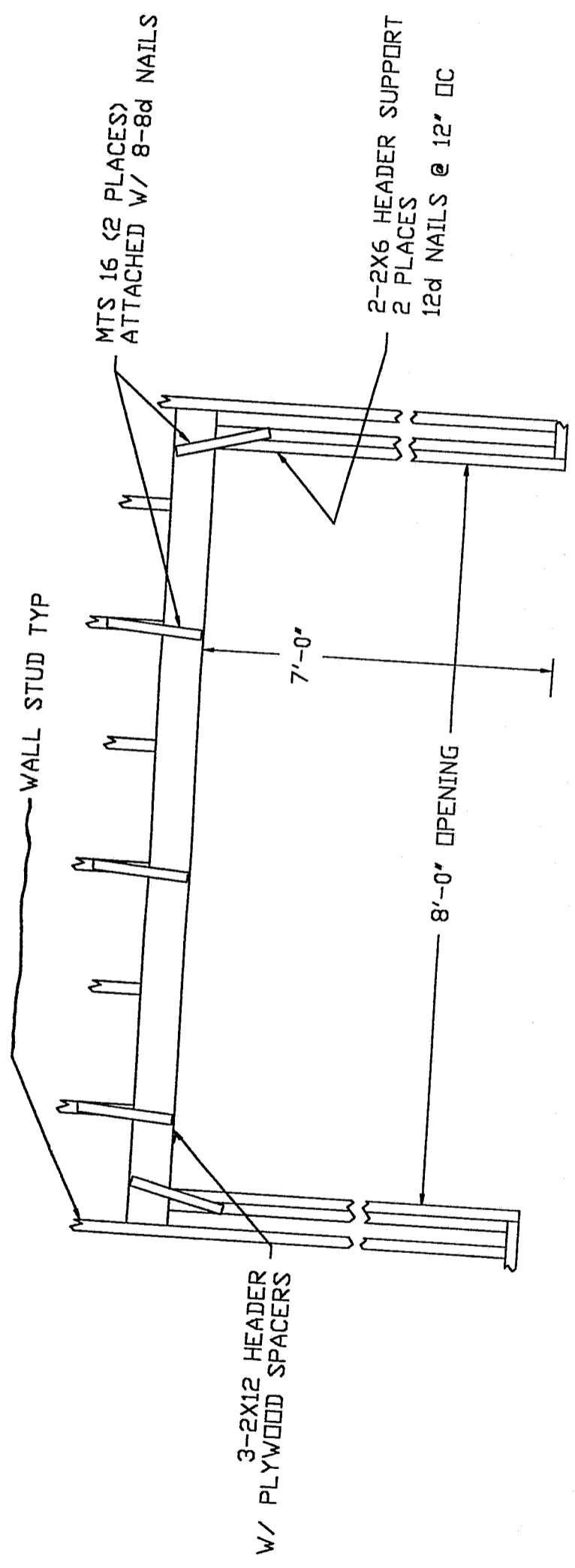
RICHARDSON
ENGINEERING
131 Zelma Street
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REVISION A
STORAGE BUILDING PLANS

JAN AND TODD WEAVER RESIDENCE
MAILING ADDRESS: 1051 LAKE BELL DRIVE
WINTER PARK, FL 32789
ORANGE COUNTY, FLORIDA
JULY 13, 2000

SHEET 7 OF 7

REVISED

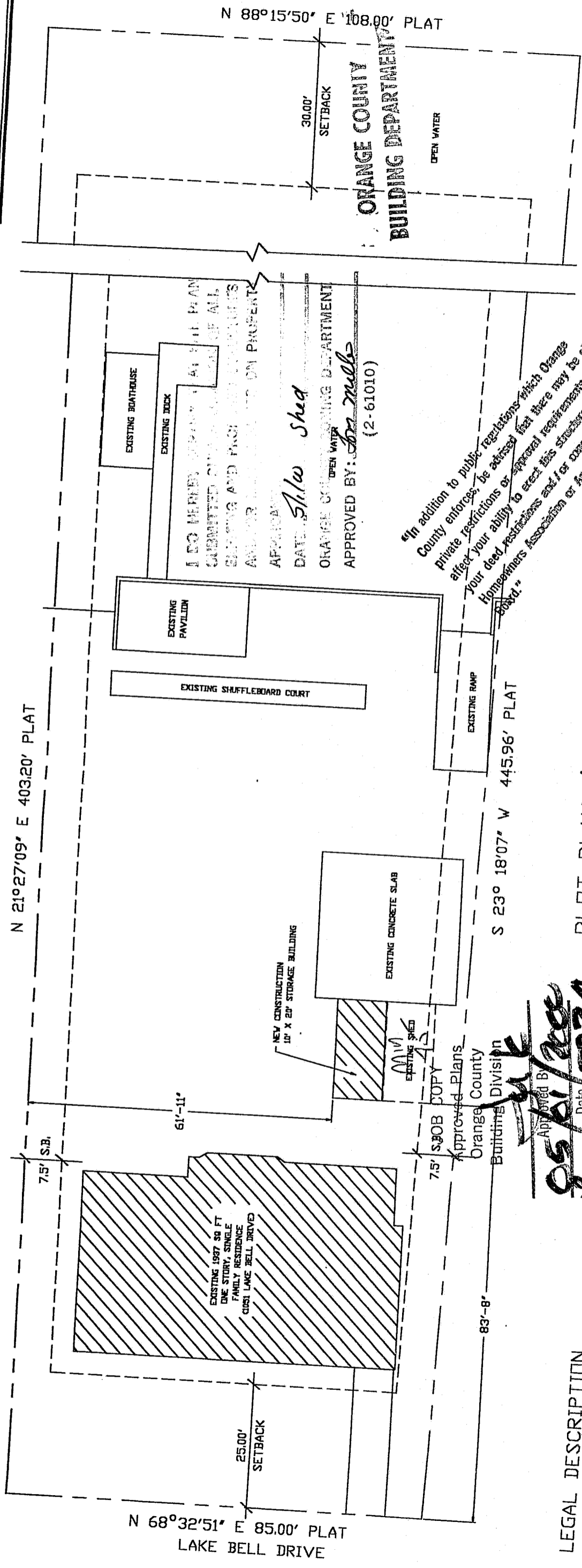


VIEW E-E
ALL ATTACHMENTS: 12d NAILS (2 PER JOINT)

TABLE OF CONTENTS:

- SHEET 1 - PLOT PLAN
- SHEET 2 - FLOOR PLAN
- SHEET 3 - ISOMETRIC VIEWS
- SHEET 4 - TYPICAL WALL SECTIONS
- SHEET 5 - MISCELLANEOUS DETAILS
- SHEET 6 - ELECTRICAL PLAN

RICHARDSON ENGINEERING
 131 Zelma Street
 Orlando, Florida
 (407) 425-4002



STORAGE BUILDING PLANS
 JAN AND TODD WEAVER RESIDENCE
 MAILING ADDRESS: 1051 LAKE BELL DRIVE
 WINTER PARK, FL 32789
 ORANGE COUNTY, FLORIDA
 SHEET 1 OF 6

"In addition to public regulations which Orange County enforces, be advised that there may be other private restrictions or approved requirements that will affect your ability to erect this structure. Please notify your deed restrictions and/or contact with your Homeowners Association or Architectural Review Board."

PLOT PLAN (NOT A SURVEY)

LEGAL DESCRIPTION
 LOT 4, BLOCK C, ALBERT LEE RIDGE SECOND ADDITION, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK U, PAGE 80, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA

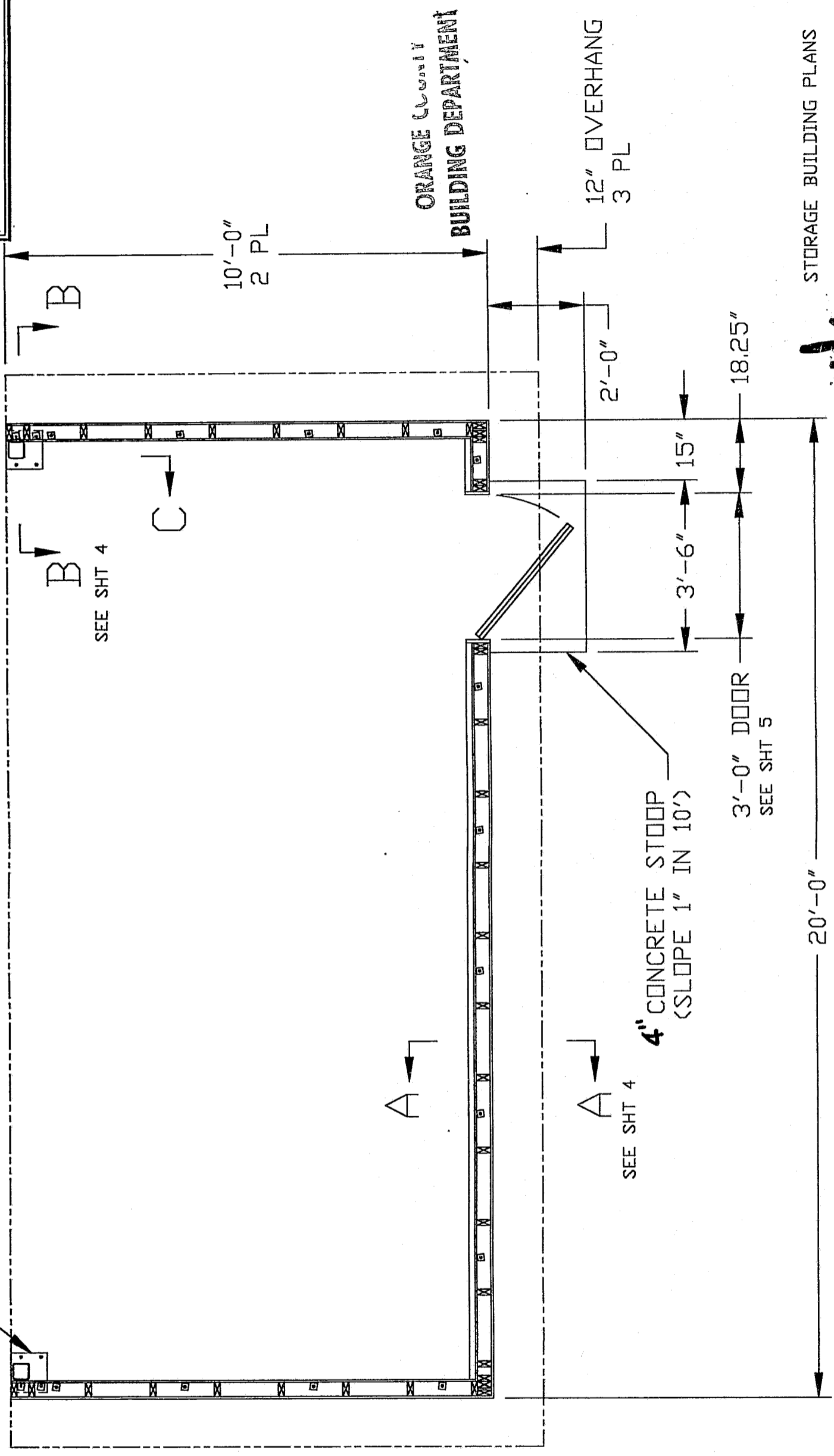
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**RICHARDSON
ENGINEERING**

131 Zelma Street
Orlando, Florida
(407) 425-4002

DETAIL D
SEE SHEET 5

SEE SHT 4



10'-0"
2 PL

ORANGE COUNTY
BUILDING DEPARTMENT

12" OVERHANG
3 PL

2'-0"

3'-6"

15"

3'-0" DOOR
SEE SHT 5

18.25"

20'-0"



PLAN VIEW

JAN AND TODD WEAVER

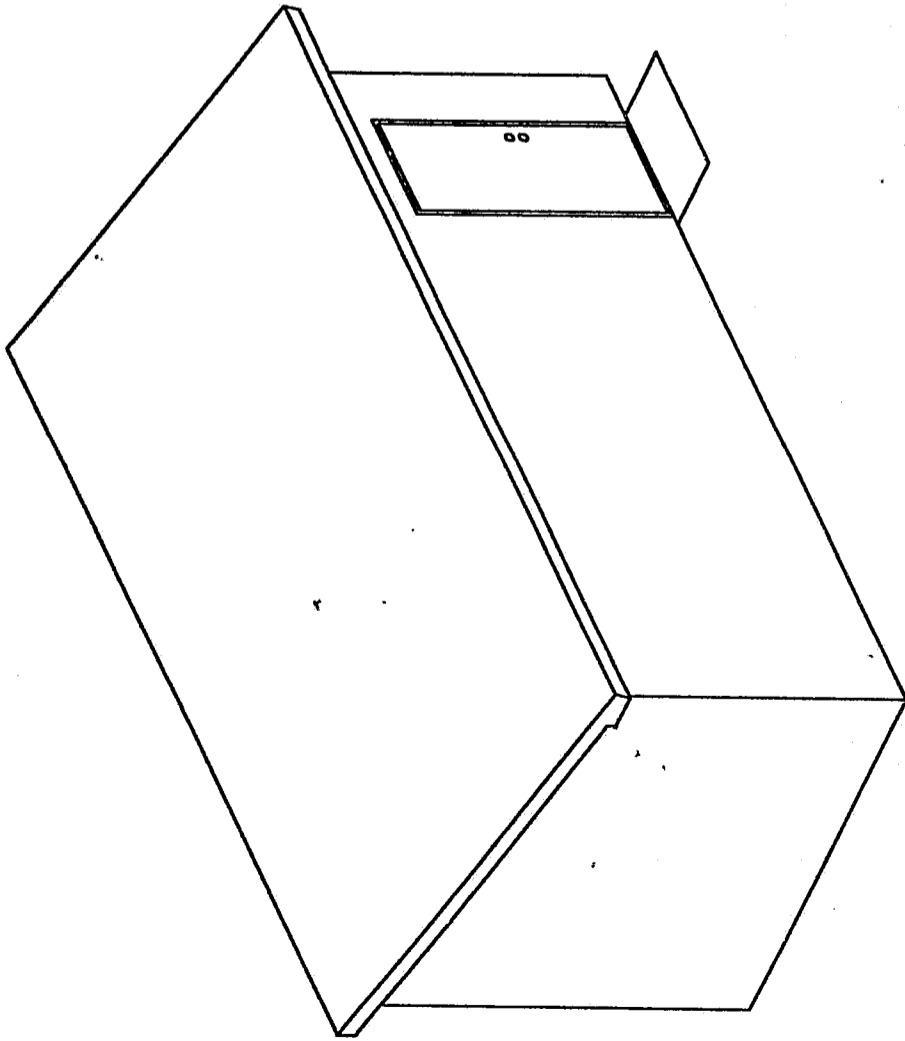
STORAGE BUILDING PLANS

JAN AND TODD WEAVER RESIDENCE
MAILING ADDRESS: 1051 LAKE BELL DRIVE
WINTER PARK, FL 32789
ORANGE COUNTY, FLORIDA
APRIL 1, 2000

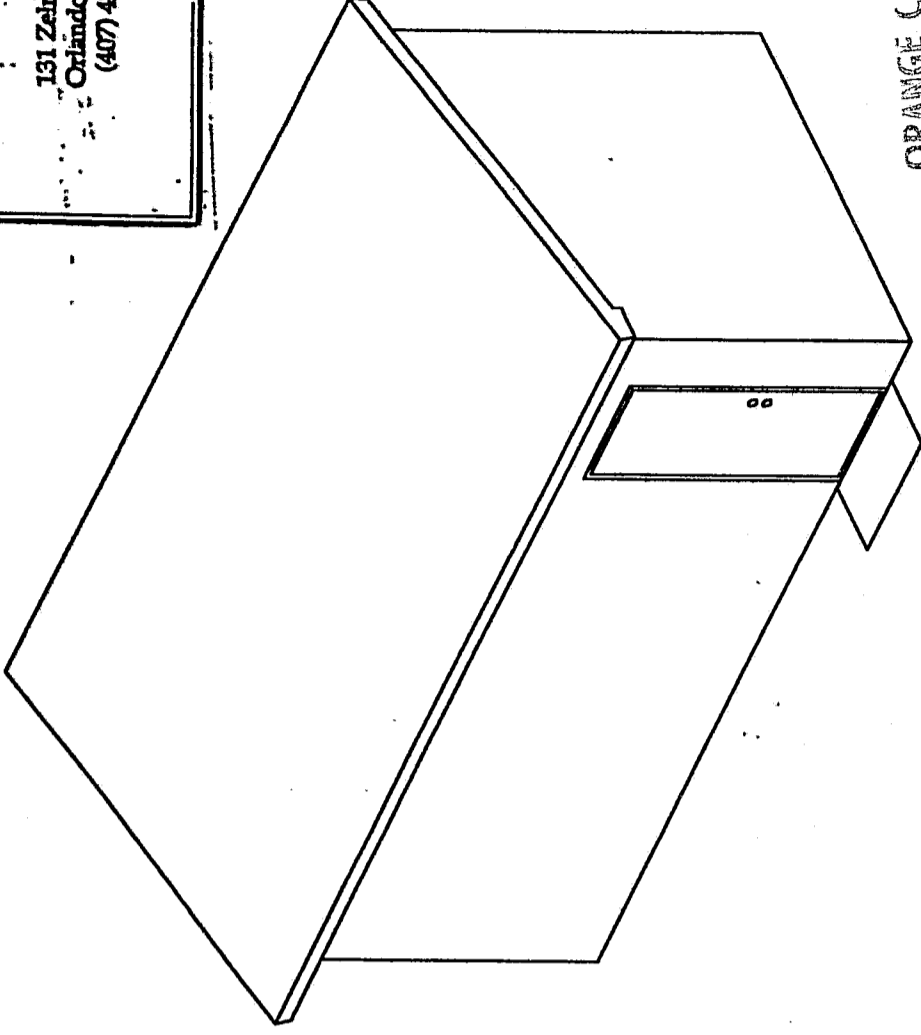
SHEET 2 OF 6

**RICHARDSON
ENGINEERING**

131 Zelma Street
Orlando, Florida
(407) 425-4002



VIEW FROM NORTHWEST



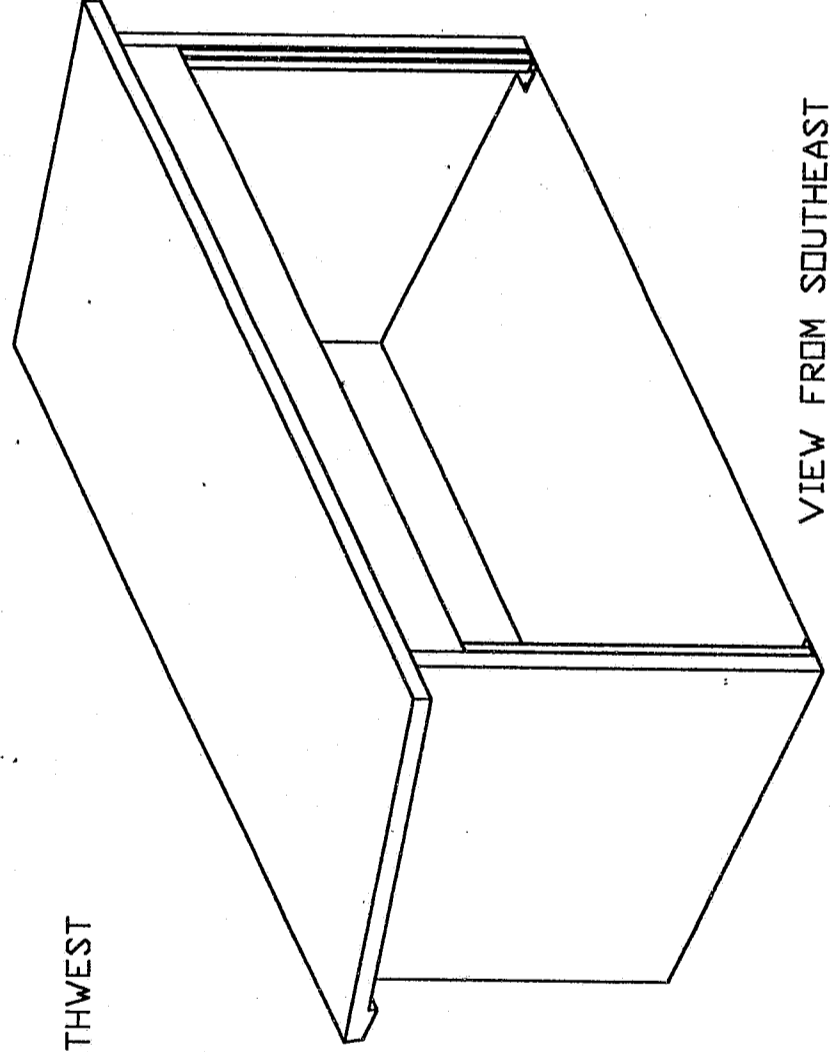
VIEW FROM SOUTHWEST

ORANGE COUNTY
BUILDING DEPARTMENT

1. FOUNDATION DESIGN BASED ON 2000 P.S.F. MINIMUM ALLOWABLE BEARING PRESSURE. SUBMIT SOILS REPORT BY FLORIDA REGISTERED ENGINEERING FOR REVIEW PRIOR TO FOUNDATION POUR.
2. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH A.C.I. 301-74 AND SHOP DRAWINGS WITH A.C.I. 308-60. SHOP DRAWINGS SHALL BE SUBMITTED TO ARCHITECT FOR APPROVAL PRIOR TO FABRICATION. R. CONC. POUR.
3. CONCRETE 28 DAY STRENGTH, SLABS, FOOTING; 2500 P.S.I. 2/ 3/4" MAX. AGGREGATE.
4. REINFORCING STEEL ASTM A615 GRADE 60 EXCEPT STIRRUPS AND TIES MAY BE GRADE 40.
5. STRUCTURAL DESIGN IS BASED ON AN ENCLOSED STRUCTURE. WINDOWS SHALL BE COVERED WITH STORM SHUTTERS OR PLYWOOD FOR HURRICANE CONDITIONS TO PREVENT PROJECTILE PENETRATION.
6. DESIGN LOADS: IN ACCORDANCE WITH S.F. CHAPTER 16.
ROOF LIVE LOAD, 20 P.S.F.
WIND LOADS: IN ACCORDANCE WITH A.C.I. 318 EDITION 1975 FOR 100 MPH REGION REFERENCING ASSET INTERIOR PARTITIONS. 5 P.S.F. PERPENDICULAR TO WALL FACE.
7. STEEL: ASTM A36, TUBESTEEL F1-46ksi MIN. BOLTS, ASTM A307
8. LUMBER GRADE SHALL BE:
A. HEADER, COLUMN, BEAMS #2 S.Y.P.
OVERBUILT FRAMING FB-1500 PSI
B. WALLS, BLOCKING, MISC. #2 SYP
C. SILL PLATES #5 S.Y.P. P.T.
9. ALL NAILS SHALL BE COMMON WIRE NAILS UNLESS NOTED OTHERWISE
10. CHECK ALL DIMENSIONS WITH FLOOR PLAN BEFORE POURING FOUNDATION EXCLUDED
II. THIS STRUCTURE DESIGN EXTENDS TO ITEMS COVERED BY SSTD 10-43 EXCLUDED ARE FINISHES, NON-STRUCTURAL ITEMS, MISC. PARTS OVERHEAD DOORS, ROOFING, WALL WATERPROOFING WHICH ARE DESIGNED BY OTHERS.
12. CONCRETE FLOOR SLAB IS EXPECTED TO DEVELOP SHRINKAGE CRACKS.
13. CONCRETE MASONRY: ASTM C-90, WITH 28 DAY FRESH STRENGTH OF 2000 P.S.I. MIN. TYPE M OR S MORTAR. MASONRY PRECAST UNITS SHALL BE PROVIDED ABOVE ALL OPENINGS. ALL MASONRY WORK SHALL BE IN ACCORDANCE WITH A.C.I. 530 AND A.C.I. 531. PROVIDE MASONRY CLEANOUTS ALL FILLED CELL LOCATIONS.

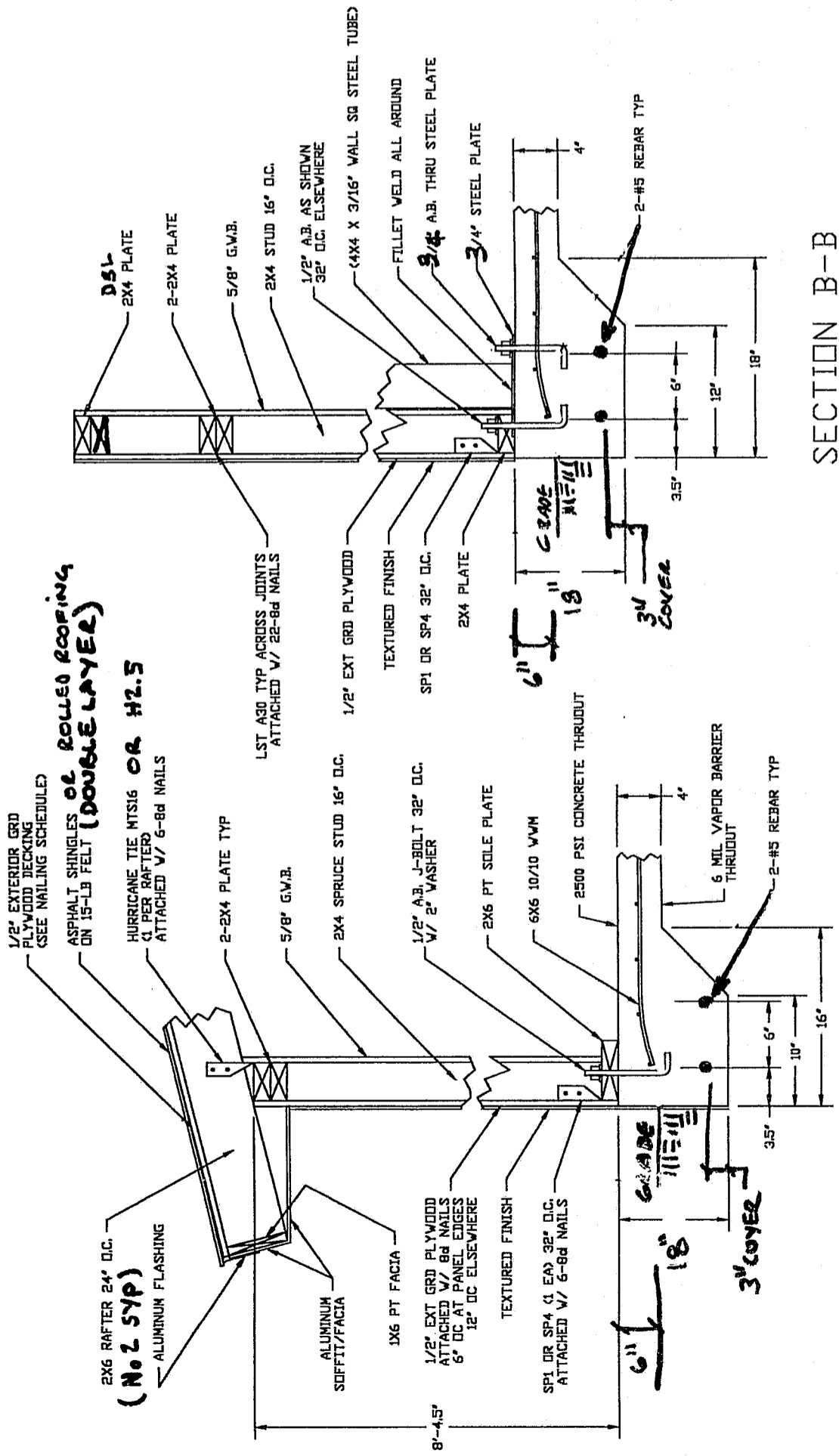
Handwritten signature

VIEW FROM SOUTHEAST



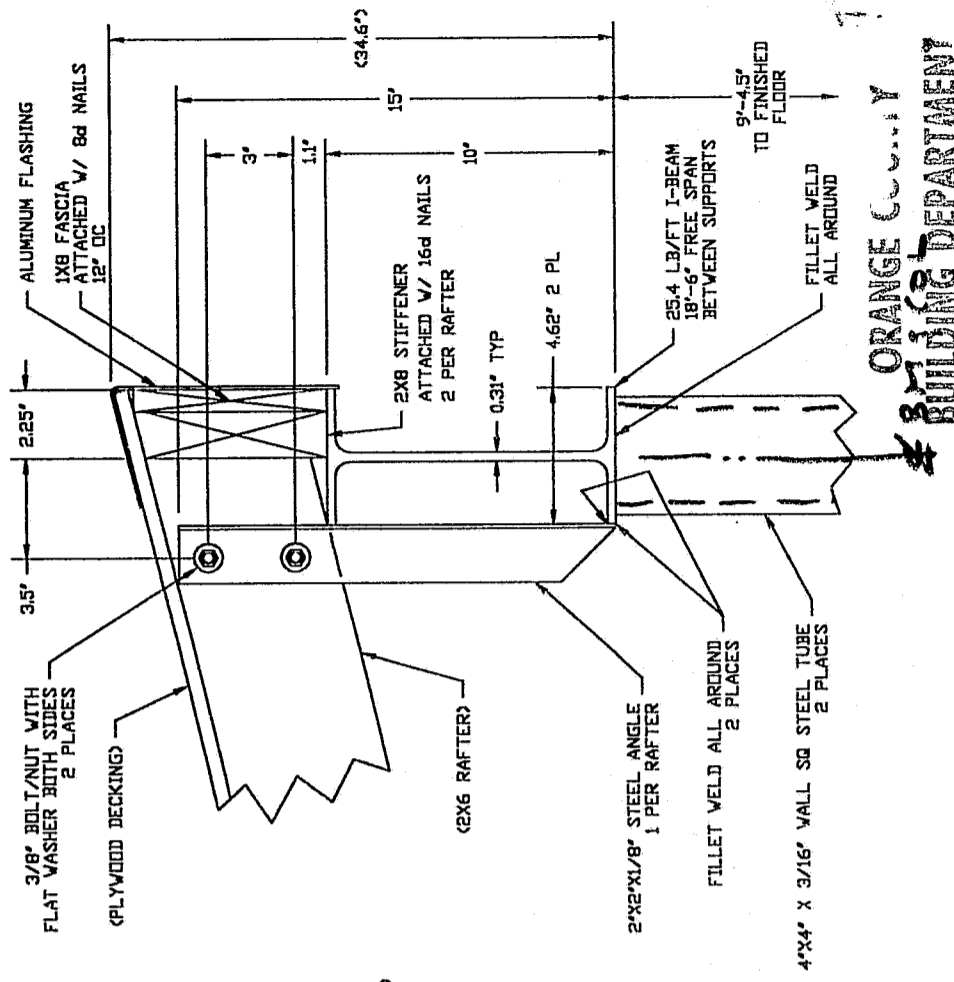
**RICHARDSON
ENGINEERING**

151 Zelma Street
Orlando, Florida
(407) 425-1002



SECTION A-A
WEST (BEARING) WALL

SECTION B-B
NON-SUPPORTING WALLS AND
SUPPORT COLUMN DETAIL
TYPICAL OF NORTH AND SOUTH WALLS



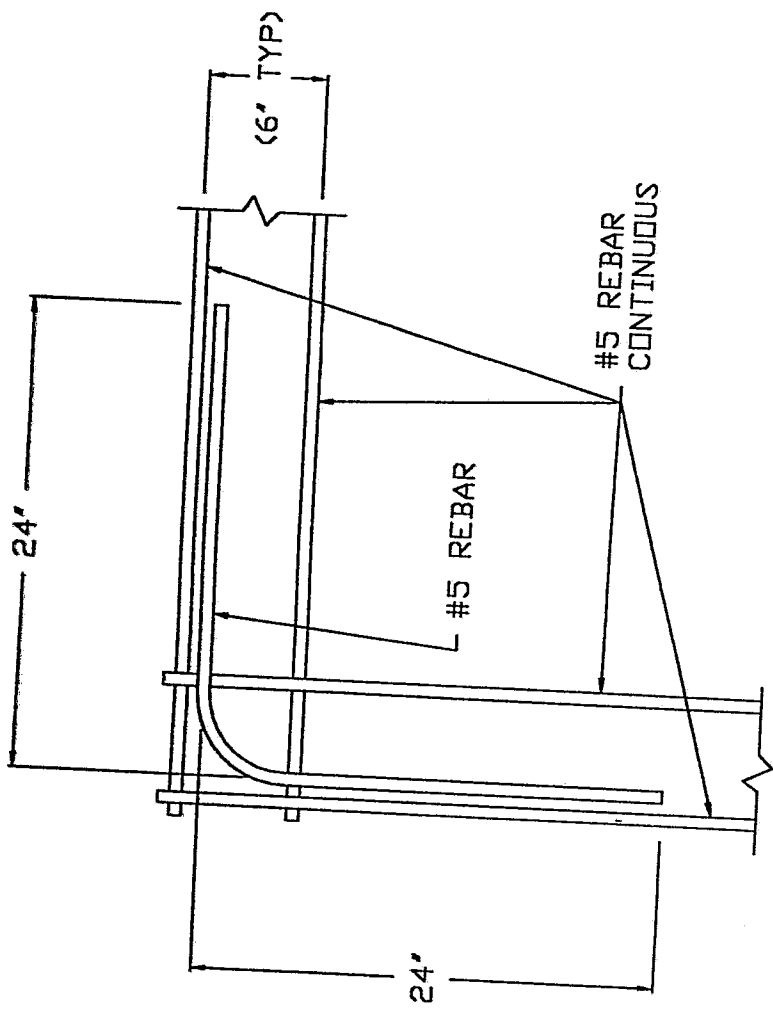
SECTION C-C

**ROOF SUPPORTING I-BEAM
AND RAFTER TIE DETAIL**
TYP 18 PL EAST SIDE OF STRUCTURE

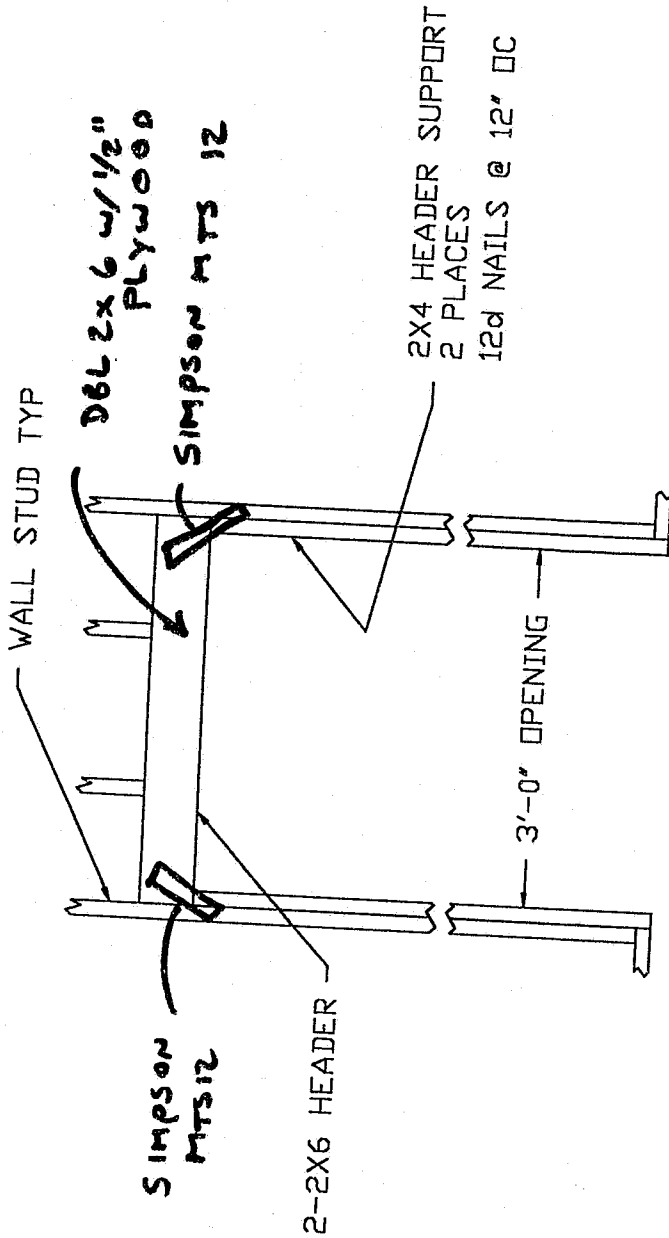
**ORANGE COUNTY
BUILDING DEPARTMENT**

STORAGE BUILDING PLANS
JAN AND TODD WEAVER RESIDENCE
MAILING ADDRESS 1001 LAKE BELL DRIVE
WINTER PARK, FL 32789
ORANGE COUNTY, FLORIDA
APRIL 1, 2000

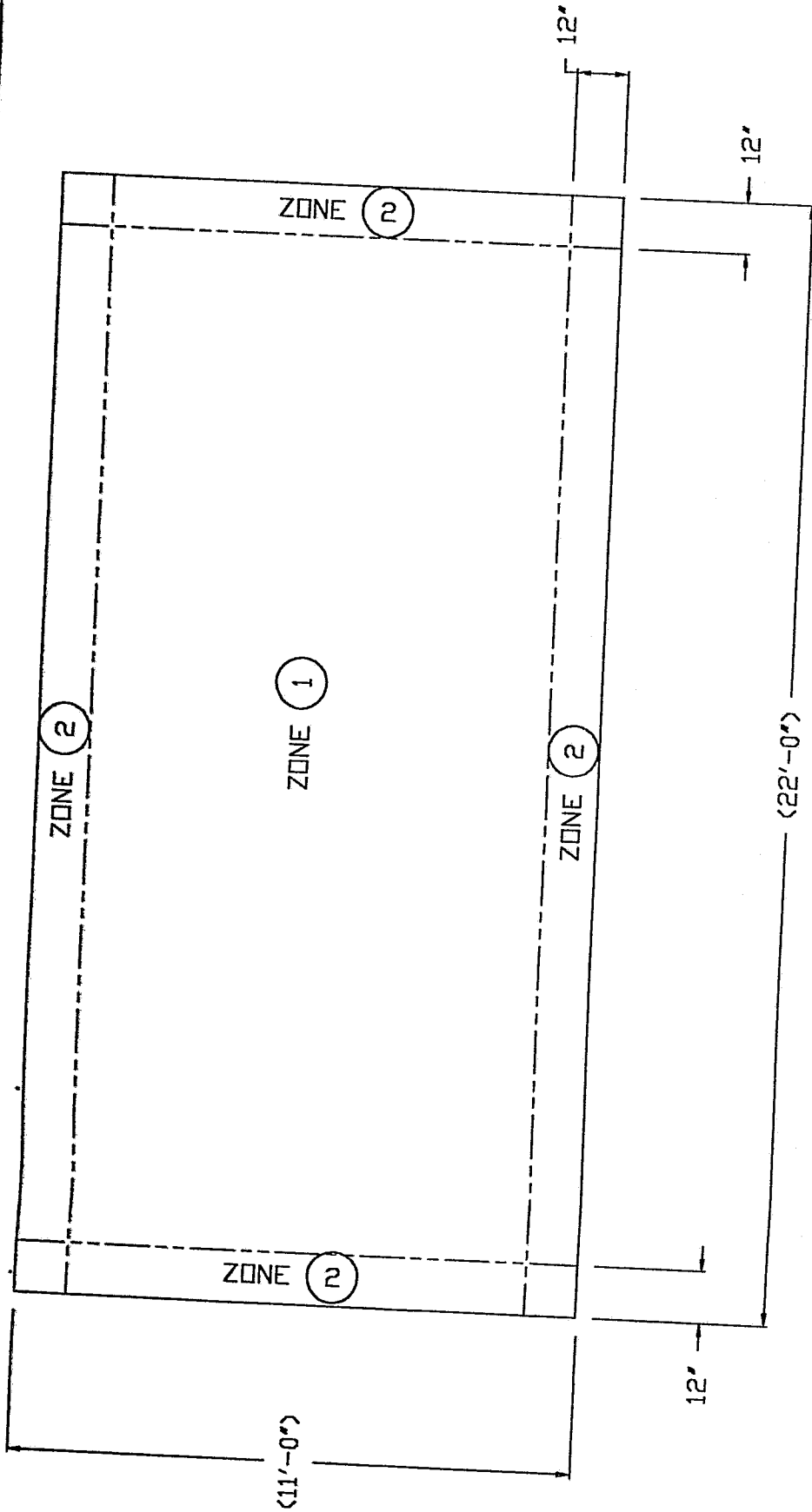
Handwritten signature/initials



CORNER FOOTING DETAIL



DOOR FRAMING DETAIL
ALL ATTACHMENTS: 12d NAILS (2 PER JOINT)



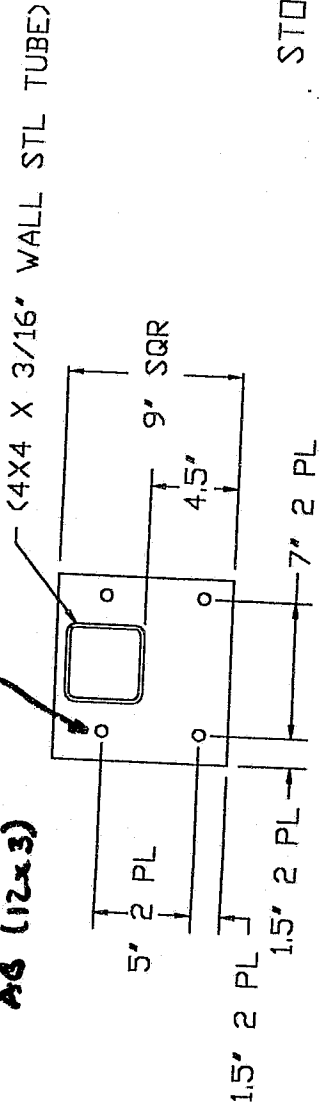
ROOF SHEATHING NAILING SCHEDULE

ROOF SHEATHING NAILING ZONE NOTES:

- ZONE ① USE 8d COMMON NAILS @ 6' OC AT EDGES AND 6' OC INTERMEDIATE
- ZONE ② USE 8d COMMON NAILS @ 6' OC (ALL FIELDS)

ORANGE
BUILDING DEPARTMENT
DC INTERMEDIATE

4-3/4" Ø A307
A6 (12x3)



DETAIL D (PIER PLATE)
TYPICAL 2 PLACES
MATERIAL: 3/4" MILD STEEL

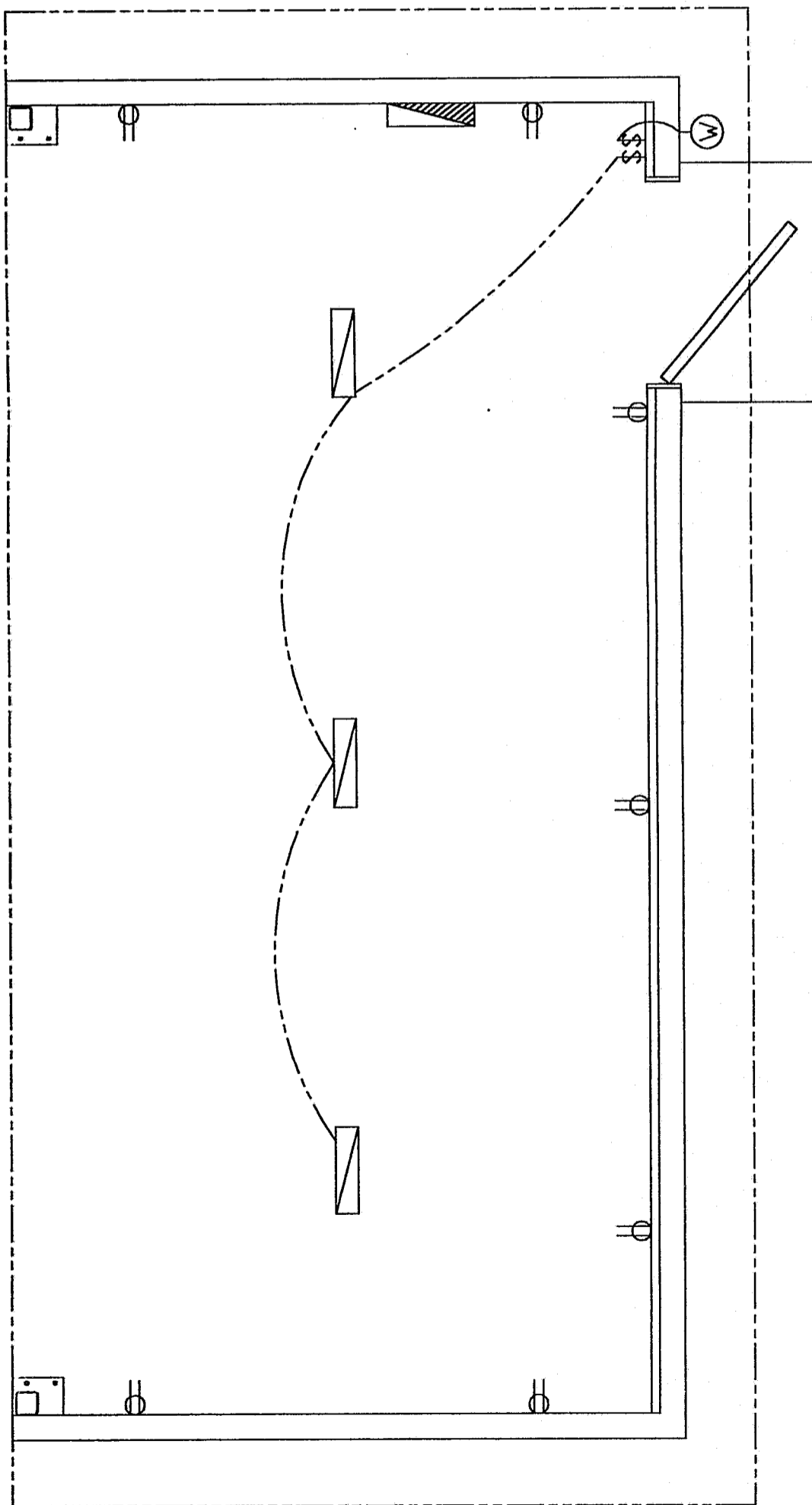
RICHARDSON
ENGINEERING

131 Zelma Street
Orlando, Florida
(407) 425-4002






STORAGE BUILDING PLANS

JAN AND TODD WEAVER RESIDENCE
MAILING ADDRESS: 1051 LAKE BELL DRIVE
WINTER PARK, FL 32789

ORANGE COUNTY, FLORIDA
APRIL 1, 2000



ELECTRICAL LEGEND

-  CEILING MOUNTED FLUORESCENT LIGHT
-  GROUND FAULT INTERRUPT DUPLEX OUTLET
-  WALL SWITCH
-  EXTERIOR WALL MOUNTED LIGHT
-  ELECTRICAL PANEL **100A 1φ**

**ORANGE COUNTY
BUILDING DEPARTMENT**

**RICHARDSON
ENGINEERING**
131 Zelma Street
Orlando, Florida
(407) 425-4002

STORAGE BUILDING PLANS

JAN AND TODD WEAVER RESIDENCE
MAILING ADDRESS: 1051 LAKE BELL DRIVE
WINTER PARK, FL 32789
ORANGE COUNTY, FLORIDA
APRIL 1, 2000

Handwritten signature/initials

THIS ELECTRICAL PLAN IS INTENDED TO INDICATE THE REQUIREMENTS OF THE OWNER. THE DETAILS OF THE ELECTRICAL SYSTEM SHALL BE DETERMINED BY AN ELECTRICAL CONTRACTOR LICENSED ACCORDING TO CHAPTER 489 OF FLORIDA STATUTES AND BY THE LOCAL BUILDING DEPARTMENT. THIS DESIGN IS ALLOWED BY CHAPTER 471 FOR 600 AMP OR LESS RESIDENTIAL SERVICES OR 800 AMP OR LESS COMMERCIAL OR INDUSTRIAL SERVICES.

ELECTRICAL PLAN

Florida Statute 455.228(1)
Home owners hiring unlicensed
contractors may be subject
to a fine up to \$5,000.00.



ORANGE COUNTY BUILDING DIVISION
201 SOUTH ROSALIND AVENUE
ORLANDO, FLORIDA 32802-2687
TELEPHONE (407) 836-5550

STATEMENT OF FACT
BY OWNER DESIRING TO CONSTRUCT OR ALTER
THEIR OWN HOME

STATE OF FLORIDA
COUNTY OF ORANGE

Before me this day personally appeared TODD C. WEAVER, who,
being duly sworn, deposes and says as follows. "I have read and fully understand the provisions of this instrument".

The undersigned states and affirms that I am the owner of the address set forth below and I am desirous of constructing altering my own domicile (*single family residence only*) and/or installing: plumbing electrical wiring or mechanical device(s) in my own domicile, (*single family residence only*, that I actually occupy, or shall occupy said domicile, and that I shall comply with the following conditions:

1. That I alone shall act as the contractor for all phases of construction, and/or installation of the plumbing, electrical wiring, and/or the above mechanical device(s) in my domicile, and that I shall not hire anyone to design, layout or install: plumbing, wiring or fixtures or mechanical devices.
2. That I shall comply with all provisions of the Standard Building Code pertinent to the building, and/or all the plumbing requirements of the Standard Plumbing Code and the Florida State Sanitary Code, all the wiring requirements of the National Electrical Code and all the installation requirements of the Mechanical Code and all applicable Orange County codes and ordinances.
3. That I shall assume full responsibility for the construction. I agree to hold harmless Orange County from any injuries, or deaths which may result from such construction. In the event various phases of construction are sub-contracted, I shall personally supervise such work. I shall assume the responsibility for familiarizing myself with requirements of the applicable Regional and Orange County Codes, and I shall not expect supervision of my work from the county inspection authority.
4. That I shall comply with all the safety codes issued by the Florida Industrial Commission.
5. That I shall comply with all applicable Orange County, municipal, state and federal laws including Social Security, and Workman's Compensation, where applicable.
6. That in the event the Building Inspector, Plumbing Inspector, Electrical Inspector, and/or Mechanical Inspector shall require corrections to be made. I shall assume full responsibility to insure that they are made, and upon completion will call for a re-inspection before proceeding.
7. That prior to final inspection, any additional fees, including re-inspections, must be paid in full before receiving final acceptance. After final inspection, any additional fees, including re-inspections, must be paid in full before a "seal of approval" is rendered and the power company is notified to connect any service. A written or verbal request from an Orange County Representative shall be my official notice to pay **ANY** additional fees. **Failure to comply can result in a delay in final acceptance of the building and/or approval for power hook-up, and/or notifying the power company to disconnect my electrical service which applies to any addition to existing structures.**

I further agree that, should I be unable to comply with the above requirements, I shall hire a licensed, bonded Building Contractor and/or a licensed Master Plumber and/or a Certified Master Electrician and/or a licensed Mechanical Contractor in Orange County to take over and complete the job in strict compliance with the applicable code(s) and permitting requirements.

	<u>TODD C. WEAVER</u> (Print Owner's name)
Owner's Address: <u>1051 LAKE BELL DR., WINTER PARK, FL 32789</u>	
The foregoing instrument was acknowledged before me this <u>5 / 1 / 00</u> by <u>Todd Christopher Weaver</u> who is personally known to me/who produced <u>FDL</u> as identification and who did not take an oath.	
State of Florida County of _____ Notary <u>DALE T. GREIFENSTEIN</u>	Commission No. _____ My Commission Expires _____

A HOMEOWNER IS TOTALLY RESPONSIBLE FOR ALL WORK DONE ON THE PROJECT FOR WHICH HE HAS SIGNED AN APPLICATION FOR A PERMIT. SUCH SIGNATURE MAKES A HOMEOWNER THE PRIME CONTRACTOR.

To be completed as required by State Statute Section 713 and other applicable sections.

Building Permit Application Information

Owner's Name TODD WEAVER

Owner's Address 1051 LAKE BELL DRIVE

Fee Simple Titleholder's Name (If other than owner's) _____

Fee Simple Titleholder's Address (If other than owner's) _____

City WINTER PARK State FL Zip Code 32789

Contractor's Name OWNER

Contractor's Address SAME

City SAME State _____ Zip Code _____

Job Name STORAGE BLDG (10'x20') ERECTION

Job Address 1051 LAKE BELL DR. SUITE/UNIT _____

City WINTER PARK State FL Zip Code 32789

Bonding Company Name N/A

Bonding Company Address _____

City _____ State _____ Zip Code _____

Architect/Engineer's Name RICHARD RICHARDSON

Architect/Engineer's Address 131 ZELMA ST, ORLANDO, FL 32803

Mortgage Lender's Name _____

Mortgage Lender's Address _____

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for ELECTRICAL WORK, PLUMBING, SIGNS, POOLS, MECHANICAL, ETC.

OWNER'S AFFIDAVIT: I certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and zoning.

WARNING TO OWNER: Your failure to record a Notice of Commencement may result in your paying twice for improvements to your property. If you intend financing, consult with your lender or an attorney before recording your Notice of Commencement.

Signature Todd Weaver

Signature Richard Richardson

The foregoing instrument was acknowledged before me this 05/01/2000

The foregoing instrument was acknowledged before me this 05/01/2000

by Todd Christopher Weaver who is personally known to me and who produced FDL

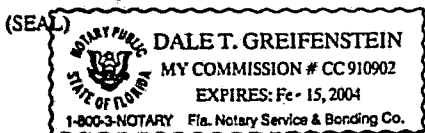
by _____ who is personally known to me and who produced FDL

_____ as identification and who did not take an oath.

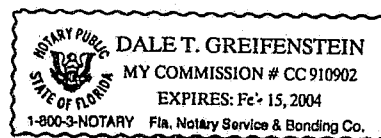
_____ as identification and who did not take an oath.

Notary as to Owner Dale T. Greifenstein
Commission No. _____
State of FL. County of _____
My Commission expires: _____

Notary as to Cont. Dale T. Greifenstein
Commission No. _____
State of FL. County of _____
My Commission expires: _____



(SEAL)



Certificate of Competency Holder

Contractor's State Certification or Registration No. _____ Contractor's Certificate of Competency No. _____

Application Approved by _____

Permit Number 200005934

Parcel Identification Number 02 22 29 0065 03640

Prepared by:

Return to:

Orange Co FL 2000-0177087
05012000 09:26:30am
OR Bk 5992 Pg 693
Rec 6.00

Recorded - Martha O. Haynie

NOTICE OF COMMENCEMENT

State of Florida

County of Orange

The undersigned hereby gives notice that improvement(s) will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

- Description of property** (legal description of the property, and street address if available)
LOT A, BLOCK C, ALBERT LEE RIDGE SECOND ADDITION,
- General description of improvement(s)** ACCORDING TO PLAT THEREOF AS RECORDED IN PLAT BOOK U, PAGE 80,
BUILDING OF 10X20
STORAGE BUILDING
- Owner information**
Name TODD C. WEAVER Telephone Number 407 539 0478
Address 1051 LAKE BELL DRIVE Fax Number 407 975 0478
WINTER PARK, FL 32789 Interest in Property: OWNER
- Fee Simple Title Holder** (if other than owner shown above)
Name _____ Telephone Number _____
Address N/A Fax Number _____
- Contractor**
Name ~~THE~~ OWNER Telephone Number _____
Address _____ Fax Number _____
- Surety** (if any)
Name N/A Telephone Number _____
Address _____ Fax Number _____
Amount of bond \$ _____
- Lender** (if any)
Name N/A Telephone Number _____
Address _____ Fax Number _____
- Persons within the State of Florida designated by Owner upon whom notices or other documents may be served** as provided by 713.13(1)(a)7, Florida Statutes.
Name _____ Telephone Number _____
Address N/A Fax Number _____
- In addition to himself or herself, Owner designates the following to receive a copy of the Lienor's Notice as provided in 713.13(1)(b), Florida Statutes.
Name _____ Telephone Number _____
Address N/A Fax Number _____
- Expiration date of notice of commencement** (the expiration date is one year from the date of recording unless different date is specified): _____

STATE OF FLORIDA - COUNTY OF ORANGE
NOTARY PUBLIC
MARTHA O. HAYNIE, COURT REPORTER
5/1/00



5/1/00
Date Signed

Todd Weaver
Signature of Owner (Note per 713.13(1)(g), "owner must sign... and no one else may be permitted to sign in his or her stead.")

Sworn to and subscribed before me this 1 day of May, 20 000 by Todd Christopher Weaver who is _____ personally known to me OR _____ produced FDL as identification.

Dale T. Greifenstein
Signature of Notary

SEAL

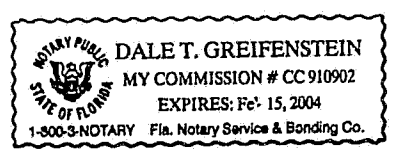


Exhibit B



FAST TRACK ONLINE SERVICES



[Home](#) > [Permits All Types](#) > [Building Permits](#) > [Details](#)

HOME

SEARCH FOR:

- [Development Cases](#)
- [Field Investigative Reports](#)
- [Hearings & Meetings](#)
- [Inspections](#)
- [Licensed Contractors / Agents](#)
- [Permits \(All Types\)](#)
- [Property \(Address/Parcel\)](#)

VIDEOS:

- [Video Resources](#)

ACCOUNT SERVICES:

- [Log In](#)

LINKS:

- [Impact Fee Calculator](#)
- [Permits & Licenses Info](#)
- [Planning & Development](#)
- [Forms, Fees & Resources](#)
- [OC Home \(ocfl.net\)](#)
- [OC Property Appraiser](#)
- [Unlicensed Contractor Information](#)

[Take Our Survey](#) ➔

Details for B00005934

PERMIT INFORMATION:

[View Google Map](#)

PERMIT#	APPLY DATE	NAME	STATUS	ISSUE DATE	EXPIRE DATE
B00005934	05/01/00		Complete	05/01/00	
TYPE		SUB TYPE		WORK TYPE	
Residential Permit		Shed/Barn/Silo/Post Off/Jail/Boat House		New Construction	
ADDRESS			PARCEL		
1051 Lake Bell Dr Winter Park FL 32789			02-22-29-0065-03-040		
DESCRIPTION					
SHED ADDITION 10"X20" STORAGE ADDITION TO EXISTING STRUCTURE					

SUB PERMITS:

PERMIT#	APP. DATE	ISSUE DATE	STATUS
E00007212	05/01/00	05/01/00	Complete

ASSOCIATED PROPERTY:

ADDRESS	PARCEL
1051 Lake Bell Dr Winter Park FL 32789	02-22-29-0065-03-040

ASSOCIATED SUBDIVISION:

NAME	SUB ID
ALBERT LEE RIDGE 2ND ADD	02-22-29-0065

PERMIT INFORMATION:

[Collapse All](#)

DESCRIPTION	INFORMATION
<input type="checkbox"/> Building Safety Info	
Inspector	CLA
<input type="checkbox"/> Required Sub Permits	
Electrical	Y
Plumbing	N
Mechanical	N
Gas	N
Roof	N

PROCESSES AND REPORTS:

[Collapse All](#)

- [View Plan Review Comments \(No Deficiencies Found\)](#)
- [View Inspection Results](#)
- [View Certificate of Occupancy Holds](#)

PROCESS	STATUS	SCHEDULE DT	START DT	END DT

☰ **Inspection History**

280 Roof Final	History	07/27/00		07/28/00
290 Final	History	07/27/00		07/28/00
190 Framing	History	06/16/00		06/16/00
120 Slab	History	05/18/00		05/18/00
210 Insulation	History	06/21/00		06/21/00
110 Footing	History	05/08/00		05/08/00

FEE INFORMATION:

	FEE DESCRIPTION	FEE AMOUNT	BALANCE
	State Surcharge	\$2.00	\$0.00
	Reinspection Fee	\$30.00	\$0.00
	Zoning Review Fee	\$6.00	\$0.00
	Building Permit Fee	\$39.00	\$0.00
	Total:	\$77.00	\$0.00

Exhibit C



FAST TRACK ONLINE SERVICES



[Home](#) > [Permits All Types](#) > [Building Permits](#) > [Details](#)

HOME

SEARCH FOR:

- [Development Cases](#)
- [Field Investigative Reports](#)
- [Hearings & Meetings](#)
- [Inspections](#)
- [Licensed Contractors / Agents](#)
- [Permits \(All Types\)](#)
- [Property \(Address/Parcel\)](#)

VIDEOS:

- [Video Resources](#)

ACCOUNT SERVICES:

- [Log In](#)

LINKS:

- [Impact Fee Calculator](#)
- [Permits & Licenses Info](#)
- [Planning & Development](#)
- [Forms, Fees & Resources](#)
- [OC Home \(ocfl.net\)](#)
- [OC Property Appraiser](#)
- [Unlicensed Contractor Information](#)

[Take Our Survey](#) ➔

Details for E00007212

PERMIT INFORMATION:

[View Google Map](#)

PERMIT#	APPLY DATE	NAME	STATUS	ISSUE DATE	EXPIRE DATE
E00007212	05/01/00		Complete	05/01/00	
TYPE		SUB TYPE		WORK TYPE	
Electrical Permit		Residential		Addition	
ADDRESS			PARCEL		
1051 Lake Bell Dr Winter Park FL 32789			02-22-29-0065-03-040		
DESCRIPTION					
SFR/ADDITION-ELECT.					

ASSOCIATED PROPERTY:

ADDRESS	PARCEL
1051 Lake Bell Dr Winter Park FL 32789	02-22-29-0065-03-040

ASSOCIATED SUBDIVISION:

NAME	SUB ID
ALBERT LEE RIDGE 2ND ADD	02-22-29-0065

PERMIT INFORMATION:

[Collapse All](#)

DESCRIPTION	INFORMATION
[-] Equipment Info	
Dishwasher	0
Hood Fan	0
Fixtures	3
Air Conditioning (tons)	0
Stoves	0
Exhaust Fan	0
Dryer	0
Spa	0
Furnace (KW)	0
Disposal	0
Paddle Fan	0
Pool	0
Pumps	0
Water Heater	0
Outlets	7
Switches	2
Motors	0

[-] New Meter Info	
Amperage	0
Voltage	0
Phase	0
[-] Upgrade Meter Info	
Old Amperage	0
[-] Valuation Info	
Job Valuation (single unit)	500

PROCESSES AND REPORTS:

[\[-\] Collapse All](#)

- [View Plan Review Comments \(No Deficiencies Found\)](#)
- [View Inspection Results](#)
- [View Certificate of Occupancy Holds](#)

PROCESS	STATUS	SCHEDULE DT	START DT	END DT
[-] Issuance				
Final Issuance Review	Open			
[-] Inspection History				
490 Final	History	07/18/00		07/18/00
410 Underground	History	06/27/00		06/27/00
420 Rough In	History	06/13/00		06/13/00
520 Change of Service	History	07/18/00		07/18/00
500 Meter Reset	History	07/18/00		07/18/00

FEE INFORMATION:

FEE DESCRIPTION	FEE AMOUNT	BALANCE
Electrical Permit Fee	\$25.00	\$0.00
Total:	\$25.00	\$0.00

Exhibit D

RE: Annexation date




Randy Knight <Rknight@cityofwinterpark.org>
To 'Peter Weldon'



10/13/2021

September 8, 2003.

 <p>City of Winter Park 401 Park Ave. South Winter Park, FL 32789 cityofwinterpark.org</p>	<p>Randy Knight City Manager City Management</p> <p>407.599.3235</p>
---	---



Under Florida law, email addresses and written correspondence with the city become public record and must be made available to the public and media upon request (unless otherwise exempt). If you do not want your email address to be public record, please contact our office by phone.

From: Peter Weldon <peterjweldon@outlook.com>
Sent: Wednesday, October 13, 2021 9:24 AM
To: Randy Knight <Rknight@cityofwinterpark.org>
Subject: [External] Annexation date

[Caution: This email originated from outside the City of Winter Park email system. Before clicking any hyperlinks, verify the real address by hovering over the link. Do not open attachments from unknown or unverified sources.]

Randy,

This is to request the date the annexation of Lake Bell Drive into Winter Park became effective for those property owners.

Reaards. Pete Weldon

Exhibit E

THE OFFICIAL SITE OF THE FLORIDA DEPARTMENT OF BUSINESS & PROFESSIONAL REGULATION



[HOME](#) [CONTACT US](#) [MY ACCOUNT](#)

ONLINE SERVICES

- [Apply for a License](#)
- [Verify a Licensee](#)
- [View Food & Lodging Inspections](#)
- [File a Complaint](#)
- [Continuing Education Course Search](#)
- [View Application Status](#)
- [Find Exam Information](#)
- [Unlicensed Activity Search](#)
- [AB&T Delinquent Invoice & Activity List Search](#)

LICENSEE DETAILS

2:33:44 PM 1/28/2022

Licensee Information

Name:	WEAVER, TODD C (Primary Name)
Main Address:	1051 LAKE BELL DRIVE WINTER PARK Florida 32789
County:	ORANGE

License Information

License Type:	Certified General Contractor
Rank:	Cert General
License Number:	CGC1508730
Status:	Current,Inactive
Licensure Date:	03/18/2005
Expires:	08/31/2022

Special Qualifications

Qualification Effective

--	--

Alternate Names

--

[View Related License Information](#)

[View License Complaint](#)

2601 Blair Stone Road, Tallahassee FL 32399 :: Email: [Customer Contact Center](#) :: Customer Contact Center: 850.487.1395

The State of Florida is an AA/EEO employer. [Copyright 2007-2010 State of Florida. Privacy Statement](#)

Under Florida law, email addresses are public records. If you do not want your email address released in response to a public-records request, do not send electronic mail to this entity. Instead, contact the office by phone or by traditional mail. If you have any questions, please contact 850.487.1395. *Pursuant to Section 455.275(1), Florida Statutes, effective October 1, 2012, licensees licensed under Chapter 455, F.S. must provide the Department with an email address if they have one. The emails provided may be used for official communication with the licensee. However email addresses are public record. If you do not wish to supply a personal address, please provide the Department with an email address which can be made available to the public. Please see our [Chapter 455](#) page to determine if you are affected by this change.

Exhibit F

THE OFFICIAL SITE OF THE FLORIDA DEPARTMENT OF BUSINESS & PROFESSIONAL REGULATION



[HOME](#) [CONTACT US](#) [MY ACCOUNT](#)

ONLINE SERVICES

- [Apply for a License](#)
- [Verify a Licensee](#)
- [View Food & Lodging Inspections](#)
- [File a Complaint](#)
- [Continuing Education Course Search](#)
- [View Application Status](#)
- [Find Exam Information](#)
- [Unlicensed Activity Search](#)
- [AB&T Delinquent Invoice & Activity List Search](#)

LICENSEE DETAILS

4:51:13 PM 12/1/2021

Licensee Information

Name:	WEAVER, TODD C (Primary Name)
Main Address:	1051 LAKE BELL DRIVE WINTER PARK Florida 32789
County:	ORANGE
License Location:	7629 CASTLEBAY CT ORLANDO FL 32835-1080
County:	ORANGE

License Information

License Type:	Certified General Contractor
Rank:	Cert General
License Number:	CGC042053
Status:	Null and Void
Licensure Date:	11/19/1987
Expires:	08/31/1998

Special Qualifications

Qualification Effective

Alternate Names

THE OFFICIAL SITE OF THE FLORIDA DEPARTMENT OF BUSINESS & PROFESSIONAL REGULATION



[HOME](#) [CONTACT US](#) [MY ACCOUNT](#)

ONLINE SERVICES

- [Apply for a License](#)
- [Verify a Licensee](#)
- [View Food & Lodging Inspections](#)
- [File a Complaint](#)
- [Continuing Education Course Search](#)
- [View Application Status](#)
- [Find Exam Information](#)
- [Unlicensed Activity Search](#)
- [AB&T Delinquent Invoice & Activity List Search](#)

LICENSEE DETAILS

4:51:53 PM 12/1/2021

Licensee Information

Name:	WEAVER, TODD C (Primary Name)
Main Address:	1051 LAKE BELL DRIVE WINTER PARK Florida 32789
County:	ORANGE

License Information

License Type:	Certified General Contractor
Rank:	Cert General
License Number:	CGC1508730
Status:	Current,Inactive
Licensure Date:	03/18/2005
Expires:	08/31/2022

Special Qualifications

Qualification Effective

...

Alternate Names

--

Exhibit G

February 13, 2019

From: Pete Weldon, 700 Via Lombardy, Winter Park, FL 32789

To Whom It May Concern:

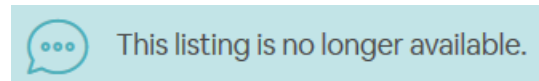
Todd Weaver was breaking Winter Park law as an AirBNB “Super Host.” In an unsolicited message to me dated February 9, Todd makes it clear he knew the law and claims he never broke the law. Further, he threatens me with legal action if I tell the truth.

Todd recently deleted his AirBNB account.

The actual reviews on his AirBNB page make it clear he was renting his Lakefront Cottage for short term rentals between December 2016 and May 2018 when he decided to run for Winter Park city commission.

Todd Weaver’s AirBNB account link:

<https://www.airbnb.com/rooms/14711105?location=Winter%20Park%2C%20FL%2C%20USA&adults=1&guests=1&s=OnJ5oGDh>.



His account information was captured before he removed his account. See **Exhibit #1**.

Winter Park, Florida - Code of Ordinances > Chapter 58 - LAND DEVELOPMENT CODE > ARTICLE III. - ZONING > Sec. 58-71. - General provisions

(aa) Short-term rental of residential dwellings. The rental, use or occupancy of any residential dwellings for less than one month shall be prohibited.

AirBNB reviews for Todd Weaver’s Lake Front Cottage confirm multiple rentals in a given 30-day period over multiple years. **Reviews confirm many short-term stays** (see highlighted statements below). See **Exhibit #2**.

2018: Jan–6 reviews; Feb 18 – 5 reviews; Mar 18 – 5 reviews; Apr 18 – 4 reviews;
(no more reviews in 2018 when he decided to run for office)

2017: Jan-3 reviews; Feb-2 reviews; Mar-5 reviews; Apr-1 review; May-2 reviews; Jun-1 review; July-2 reviews; Aug-2 reviews; Oct-5 reviews; Nov-4 reviews; Dec-8 reviews

2016: Oct-1 review; Nov-1 review; Dec – 3 reviews

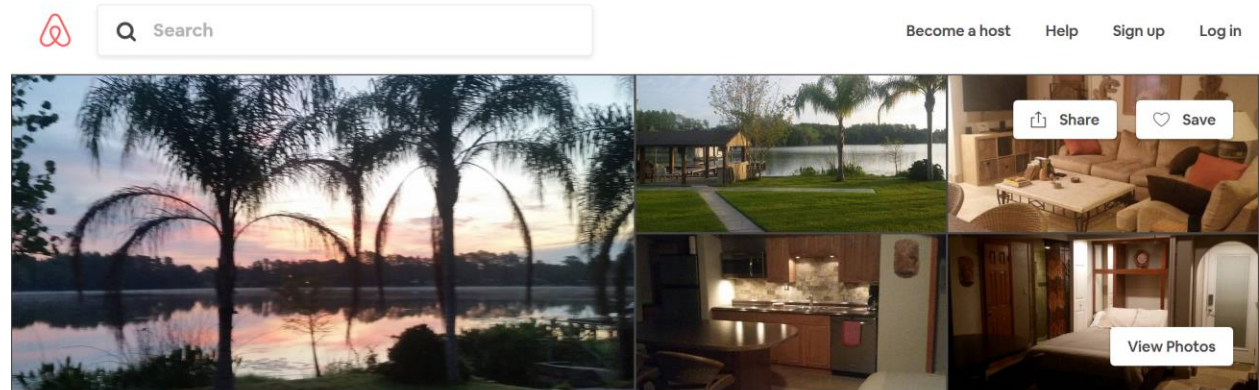
Todd Weaver sent me an unsolicited message on February 9, 2019 claiming he never broke the law, claiming he donated the proceeds to local charities, and threatening legal action against

me if I told the truth. He refers to the truth as me "lying or cheating." This message clearly demonstrates that Todd Weaver knew the law. See **Exhibit #3**.

Whatever one's opinion of AirBNB, there is something deeply wrong with a person wishing to assume responsibility to uphold the law as a city commissioner who breaks the law and then tries to cover it up. Further, Weaver's attempt to stop me from telling the truth by threatening legal action constitutes extortion.

Regards, Pete Weldon
700 Via Lombardy
Winter Park, FL 32789
Cell: (407) 267-5320

Exhibit #1



ENTIRE CABIN

Lakefront Cottage in Winter Park, Florida

Winter Park



Todd

🏠 **Entire cabin**

2 guests 1 bedroom 1 bed 1 bath

🧼 **Sparkling clean**

15 recent guests said this place was sparkling clean.

📍 **Great location**

90% of recent guests gave the location a 5-star rating.

👤 **Great check-in experience**

100% of recent guests gave the check-in process a 5-star rating.

Enjoy the lake, the quiet/ comfortable interior and outdoor spaces, while being close to downtown Winter Park and the central Florida attractions. Kayak around the spring-fed lake, or sit outside on either patio space and enjoy the views, the birds and the breezes.

Due to local ordinance, the cottage has a 30-day minimum rental period.

The space

Modern, comfortable furniture, high ceiling, well-appointed kitchen, queen size bed that folds away for more daytime space. Front and rear patios with lots of tropical plants.

Guest access

2 private patios attached to the cottage and a covered pavilion at the water's edge with bbq grill, outdoor sink and patio furniture. Private entrance and street parking.

Interaction with guests

Your hosts Terry or Todd lives next door and can be available to assist if required.

Other things to note

Kitchen has glass stove top, convection/microwave oven, fridge with icemaker, large prep area, under-cabinet lighting, pots, pans, dishes, utensils, wine rack, pantry, salt, pepper, coffee and filters, coffee pot, tea kettle, butter, milk, bottled water and beers. All towels, sheets, bath soap and hand soap, paper towels and napkins furnished. Queen size bed, large couch and chair, large coffee table, 55-inch TV and surround sound system, BluRay player, Netflix, Amazon Prime and local TV stations, office desk and chair. Large tiled shower with glass bricks and a separate half bath.

[Hide](#) ^

[Become a host](#) [Help](#) [Sign up](#) [Log in](#)

\$85 per night

★★★★ 61

Dates

Check in → Check out

Guests

1 guest

Request to Book

Check in → Check out

Guests

1 guest

Request to Book

You won't be charged yet

Dates

Check in → Check out

Guests

1 guest

Request to Book

You won't be charged yet

Dates

Check in → Check out

Guests

1 guest

Request to Book

You won't be charged yet

Exhibit #2

61 Reviews



Charles

April 2018

Great spot, owner was efficient and timely in his communication. Excellent value and proximity to Winter Park. Just for clarity, the bed was a pullout, not a dedicated bed. Still worth it though!



Chris

April 2018

Todd's place is better than the description and photos make it seem! Check-in is dead simple, the place is amazingly clean and well designed/decorated, and the views of the lake right out back turn it into a zen retreat. Todd himself was an incredible host and super fun to chat with. We will definitely return next time we're in town!



Rachel

March 2018

Todd's place is beautifully decorated, very private and has everything we could have desired! The lake and dock in the back were a real bonus and made our stay such a great retreat!



Kevin

April 2018

Very beautiful and quiet place with a great view of the lake. Highly recommend, Todd's place is unbelievable



Marcia

March 2018

Todd's place is a beautiful retreat in a suburban setting. Sitting on the dock and looking out onto the lake is a special treat.



Laura

March 2018

Excellent value for money. Beautiful view of the pretty lake. Very clean and well supplied. We gratefully drank the two cold beers Todd had thoughtfully left after our long drive from NC. Would book again, for sure.



Brian

March 2018

Our stay was wonderful in this cottage by the lake. It is located in a nice residential area close to lots of shops and restaurants. Everything was very clean and comfortable. The cottage has a nice private entrance and is very quiet. We **were in the area for a basketball tournament** in downtown Orlando and Todd's place offered us a place away from downtown and yet just a 15 minute drive. We also enjoyed visiting downtown Winter Park - we would definitely go back again.



LuAnn

March 2018

A fabulous oasis of scenic beauty and peaceful calm, yet within close driving distance of anything we wanted or needed. Perfect getaway for 2. Todd was a wonderful host, and we highly recommend his Lake Bell cottage!



Michelle

February 2018

Just 10-15 minutes outside downtown Orlando, this little gem is a cozy cottage on a lake in a quiet residential neighborhood. It is built and decorated beautifully and has everything you need, even if you didn't know you needed it! This was my first airbnb experience, and it was a wonderful one! Highly recommend!



Sarah

February 2018

The cabin was lovely and **a nice change from a hotel**. It has a private entrance and you can't beat the view of the lake! Todd even offered his fishing poles to fish off the dock. The space is a studio style and offered just enough space to be comfortable! Todd left some essentials for us to enjoy which was awesome to arrive to.



Chrissy

February 2018

Everything was wonderful. Truly home away from home. Safe, comfortable, private, clean and so many amenities. We truly loved our stay!



Dylan

February 2018

Todd's place is exactly what everyone hyped it up to be. Todd is a great host and was extremely helpful and thoughtful. The view is amazing and the cottage is very nice. I would highly recommend him to anyone and everyone.



Barrie

January 2018

Perfect space for **two to enjoy quiet and romantic time together**. We enjoyed sitting at the lake in the morning and easy access to town. Todd was kind and receptive to our needs.



Dr Maggie

January 2018

Have stayed at Todd's cottage several times and it is perfect. If there is something above a super host Todd is it! Forgot your toothbrush? No worries there are new ones in the cabinet. Want some fresh fruit? Yep it's there, wanted cereal for breakfast but didn't bring any? Todd put a couple in the fridge with a quart of milk just in case. Todd and his young lady who helps him are honestly the most thoughtful hosts ever. I would recommend them to anyone!



Andrew

January 2018

We had a wonderful stay at this Cottage. It is a beautiful spot in a residential area, very clean, comfortable and well laid out. Private entrance, spacious and quiet. We would definitely go back again.



Kai

April 2018

The nicely decorated and cozy cottage has a beautiful view on a lake and is extremely tidy and clean. Everything is perfect and even better than the description. And also because Todd is the perfect host, I will definitely try to stay here again.



Dr Maggie

January 2018

Todd's place is great and the location is perfect. Todd is an amazing host and very quick to respond and help. **Have stayed a few times** and definitely will again!



Katy

January 2018

Todd's cottage was a great **place for 2 while visiting nearby Orlando!** It was the perfect distance (no more than 30 minutes) to many large attractions while remaining quiet and private! We had an amazing time at Todd's place. Winter Park also offered many great restaurants and tourist sites. Todd went above and beyond by stocking the fridge and cupboards with several breakfast foods, beer, and wine. My boyfriend and I loved our stay!



D'Andre

January 2018

Todd's place is beautiful! The pictures do not do it justice. We really enjoyed the atmosphere and will stay again if we visit Florida in the future.



Amy

December 2017

This is a great getaway location that is conveniently located in beautiful Winter Park but tucked away in a quiet neighborhood. The accommodations were very comfortable and clean, and Todd was a great host and responded quickly to all our questions.



Melissa

December 2017

Great place, very quiet with lots of space. Todd provided cereal and oatmeal for breakfast along with beer and wine for which meant I did not have to go to the store on my way in. Great touch. Love the large desk to do my work.



Rachel

December 2017

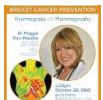
Todd's place was a joy to stay at. Not only was it clean and full of everything we needed, Todd also provided some basic food and drinks in the fridge, plus a list of local places to go to. He was extremely quick to communicate and the view of the lake was beautiful. I would definitely stay there again the next time I'm in Florida!



Bruce

December 2017

This was **my second visit to Todd's cottage**. It was perfect for my business trip and I plan to return again the next time he has an availability in the future **during the business week**.



Dr Maggie

February 2018

Have stayed at Todd's several times. It is perfect and Todd is great! Read my other reviews!



Janice

November 2017

I had a great time at Todd's cottage and loved its location near the lake and **4 doors down from those whom I was visiting**. The lake changed each day covered in mist to bright and sunny to cool and breezy making the view mesmerizing. I also appreciated all of the items - food and drink - in the refrigerator and the kitchen supplies. The stay was very comfortable. Thanks!



Lisa

November 2017

A very enjoyable stay. We were visiting relatives for the first time nearby and just needed a place to "flop". The lake view was beautiful and the room spacious and clean.



Dr Maggie

November 2017

Todd's cottage is super cute and the view of the lake is beautiful. Very nice people and quick to respond. Will definitely stay again!



Jennie

October 2017

This was such a relaxing place. It's a guest house but there is privacy and you can't hear each other. Todd was great about letting us know how to check in well in advance. It's also near a lot and only 10ish minutes from Orlando.



Jill

October 2017

This cottage exceeded our expectations. It was clean and airy. Conveniently located. The lake view is stunning. We were just looking for a place to stay while we attended a wedding in town. But we got a quiet escape at a cottage retreat. Todd was a wonderful host. We had everything we needed. Definitely worth it.



Najat

October 2017

Place is beautiful and clean. Exactly as described. Great instructions from Todd for our check in. Peaceful place by the lake to have your morning coffee. We will definitely come back and spend more time. Thank you!



Eric

October 2017

We loved our stay at the lakeside cottage. Todd was a great host, communicated very quickly and helped make our first AirBnb stay a breeze. Would definitely stay here again. We loved sitting on the lake dock in the evening. It's in a perfect location within a close drive to shops and restaurants in Winter Park and easy access to the interstate. Thanks for the great hospitality, Todd!



Whitney

October 2017

We had a wonderful stay in Winter Park. Todd had everything set up for us when we arrived and we were able to come and go as we pleased. He provided us with a lot of privacy as well but also didn't hesitate to be available whenever needed. Overall we **had an awesome weekend** and would definitely recommend this place to someone visiting the Winter Park area. :)



Aria

March 2018

This place was perfection. The host went above and beyond to cater to needs.



Clayton

December 2017

A stylish, upscale cottage on a quiet residential street. Very well equipped and spotlessly clean, with full kitchen amenities. My only complaint is that the wifi was rather slow. Otherwise, highly recommended. About a 20 min drive from Universal Studios. Some shopping walkable as well



Géraldine

December 2017

We enjoyed our stay in the house, it was very well located to go out on winter park, and it's a very quiet and cosy place.



Joshua
August 2017

Todd's place is absolutely fantastic. Really comfortable space with all required amenities. Location is great, on the lake makes it very peaceful and quiet yet it is close to everything in Winter Park. Would absolutely return.



Marc
July 2017

Attractive very quiet accommodation in very convenient location to everywhere in Winter Park! Was a great staging area for our son's wedding in Winter Park.



Garret
July 2017

Lovely place. The location and the furnishings were excellent for the price. It's a perfect space for two to stay. Will stay here again next time I am in town.



Stella
June 2017

We had a great stay. The cottage was exactly as described. Very clean and well furnished. Lots of little details that really made for a nice stay. There is a murphy bed which, to be honest was a bit creaky, but comfy. There was also a big sofa and chair with lots of room to lounge around. It also had a full kitchen with an island. The bathroom is super tiny with the toilet and sink in a small room. The shower interior is very cool, the only downside is there is no door in the shower area, but as a couple, we weren't too bothered by it. The location is on a residential nice side street, which is very close to Winter Park Village and just a short drive downtown. I-4 is less than a mile down the road. The backyard area is really nice, it's on a lake and surrounded by trees. There is also a small table and a couple of chairs out back just behind the cottage and it was nice to have coffee there in the morning and watch the sunrise. Todd was a great host. Very nice and helpful, but he gave us our privacy too. This was our first Airbnb stay and we were very happy.



Jennifer
May 2017

We enjoyed our stay in the cottage very much. The location to Winter Park was perfect. The cottage was homey, comfortable, and beautifully decorated. Todd was a great host, attentive but he also gave us plenty of privacy. This location is perfect for parents visiting children who may be students at the local colleges and universities. The lake in the backyard was a wonderful bonus, and the perfect place to relax at the end of a busy day. We will gladly stay here again in the future.



Whitney
March 2017

Fantastic Airbnb. Beautiful guest home on a relaxing lake. Todd and Carole had the place wonderfully prepared and stocked for us and we would certainly be interested in staying at Lake Bell Cottage again! Thanks again. :)



Lucy
March 2017

The Lake Cottage was perfect. As I sat in the kayak on water, the 23rd Psalm came to mind...."He leads me beside still waters, He restores my soul." Our 4 days at the cottage is just what our souls needs.



Matt
March 2017

Todd and Carol are wonderful hosts. The cottage is impeccably maintained and well appointed. Super clean and very comfortable. It is close to some very nice restaurants on South Orange Avenue and a short drive from I-4 . The neighborhood is quiet and safe and the cottage offers seclusion if you need it. I commute a long distance to work in this area and will use the cottage whenever possible in the future. A returning customer is your best recommendation.



Deborah
March 2017

Todd and Carol provided a lovely quiet get away close to restaurants, etc. The cottage was adorable, immaculate, very comfortable furniture and beautiful outdoor area including a great vegetable garden. As I confessed to Todd I helped myself to a few sweet peas! Todd and Carol

were gracious hosts and offered some of their vegetables as well as assisting us with the television. We could not have imagined a better place to spend a few days in Winter Park...



Cam

August 2017

Great location and spacious private suite. It was a nice surprise to arrive and discover some of the basic fridge foods were included: milk, butter, some fruit and beer! Very safe, quiet neighborhood and close to many nice restaurants on Park Avenue. Great communication; any questions about the suite and Todd would respond by phone or text. Definitely recommend Todd's place.



Spencer

February 2017

This will be my second stay at the The lake front cottage, this visit and our last was nothing but a wonderful experience. Todd even helped prep the cottage in celebration for valentines day. All amenities could be found and the overall experience was wonderful. Hope to visit again some day



Clinton

January 2017

Todd & Carole, Are outstanding hosts, who really know how to treat their guests. The place is absolutely amazing from decor to location, it is everything you could want in vacation or work accommodations. As matter of fact I'm booking another week long stay for mid-February. This place is soooo nice, I almost want to keep it a secret. Lol I hope this review all who read it. Be well



Shabnam

January 2017

I had a great stay at Todd place , beautiful cottage with a lake view Clean and organize home, even though my booking with Todd was at the last minutes he accepted my request which is very kind and understanding . Location was super awesome . Todd is a great host . I will recommend his place to all Airbnb guest . Thank you again Todd



Dipak

January 2017

This is an excellent option for anyone wanting a quiet space by the water but also wants convenience of restaurants and supermarkets nearby. If you are driving, it is near all major access roads and central Orlando and all its attractions are only 20 minutes away by car. The place itself is peaceful, comfortable and fully equipped for anything you might need, including cooking for yourself. The hosts are discerning, respectful and responsive. I spent a week here in early January 2017 and loved it. Highly recommended.



Jack

December 2016

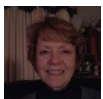
Beautiful place. Like a little separate house. Great lake view and dock where you can soak up the sun. Totally residential and safe. Hopefully we'll get to go back for another visit.



Art

December 2016

Todd has created a lovely retreat space on the shore of a pretty little lake in NW Winter Park. The cottage is cozy, comfortable, quiet, and has everything 1 or 2 people need for a pleasant stay. Highly recommended.



Dianne

December 2016

Our experience for our first Airbnb venture was great! Our hosts were very pleasant and greeted us warmly shortly after our arrival. Directions were good and very clear. The cottage was very nice and comfortable for the two of us. Although not too far from a main road this was a very private location with beautiful lake views.



Dwayne

December 2016

The host Carole provided an exceptional service. And, the baked goods were a wonderful addition. I hope to someday visit again. If they'll have me.



Spencer

November 2016

Had nothing but a great experience at the lakefront cottage. The overall ambience was warm and welcoming. All household essential could be found and nothing was out of place. **Great for a weekend retreat** to rejuvenate from a stressful work cycle or just looking to get away from the norm. Five stars and would highly recommend it.



Tim

October 2016

Great accommodations, really has everything you need to feel at home. The lakefront property is beautiful and peaceful, and is in a very convenient location. Overall great stay.



Bruce

December 2017

Nice quiet neighborhood very convenient to restaurants, shopping and the gym! Beautiful view.



Abby

May 2018

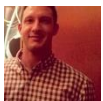
It was so relaxing. Todd thought of everything



Dr Maggie

November 2017

Great location and great place and very nice hosts. Would definitely recommend!



Zach

December 2017

Easy to get in touch with, everything was as advertised.



Ellen

February 2017

This place is exactly as advertised. We were very comfortable there.



Scott

April 2017

Excellent stay.

Exhibit #3

Weldon's Folly



todthegod@cfl.rr.com
To 'peterjweldon@outlook.com'

Reply Reply All Forward ...

Sat 2/9/2019 3:33 PM

Pete,

Note the last sentence in the listing. There are no ordinance, code, usage, permitting or any other violations per George Wiggins. It's time to give it a rest.

Furthermore, all proceeds from this perfectly-legal rental have been donated to Polasek, Casa Feliz, Joe R. Lee Boys & Girls Club, Welbourne Nursery & Daycare and various Rotary charities. Unless you want to look like a bigger fool, stop it. If you can't win without lying or cheating, you need to take up a different activity.

Lakefront Cottage in Winter Park, Florida

Enjoy the lake, the quiet/ comfortable interior and outdoor spaces, while being close to downtown Winter Park and the central Florida attractions. Kayak around the spring-fed lake, or sit outside on either patio space and enjoy the views, the birds and the breezes. Due to local ordinance, the cottage has a 30-day minimum rental period.

The 2018 Florida Statutes

104.271 False or malicious charges against, or false statements about, opposing candidates; penalty.—

(1) Any candidate who, in a primary election or other election, willfully charges an opposing candidate participating in such election with a violation of any provision of this code, which charge is known by the candidate making such charge to be false or malicious, is guilty of a felony of the third degree, punishable as provided in s. [775.082](#) or s. [775.083](#) and, in addition, after conviction shall be disqualified to hold office.

(2) Any candidate who, in a primary election or other election, **with actual malice makes or causes to be made any statement about an opposing candidate which is false is guilty of a violation of this code.** An aggrieved candidate may file a complaint with the Florida Elections Commission pursuant to s. [106.25](#). The commission shall adopt rules to provide an expedited hearing of complaints filed under this subsection. Notwithstanding any other provision of law, the commission shall assess a civil penalty of up to \$5,000 against any candidate found in violation of this subsection, which shall be deposited to the account of the General Revenue Fund of the state.

Exhibit H

peterjweldon@outlook.com

From: InterestdCitizen <InterestdCitizen@protonmail.com>
Sent: Friday, January 11, 2019 11:13 AM
Subject: RE: AirBNB short term rental activity concerns within residential neighborhood

Dear Mr. Weldon,

Perhaps the 1051 Lake Bell Drive, Winter Park, Florida 32789 Parcel # 02-22-29-0065-03-040 property referenced in communication herein might be of interest.

Web site review of the historical and publicly available records (Winter Park's permitting department) do not appear to support that applicable permits were issued for the numerous property improvements over the years. Questions arise when comparing property status with historical records contained in the websites of OCPAFL, Orange County and Winter Park permitting offices. The detached "Lakefront Cottage" located to the rear of the property including all the comforts of home advertised (since 2016?) for rent within AirBnB is currently listed as FDG - F/Det Garg within the OCPAFL web site.

<https://www.airbnb.com/rooms/14711105?location=Winter%20Park%2C%20FL%2C%20USA&adults=1&guests=1&s=OnJ5oGDh>

<https://cityofwinterpark.org/docs/government/city-commission/minutes/min-2018-07-09.pdf>

WP CITY COMMISSION MEETING MINUTES JULY 9, 2018 PAGE 7 (refer to Air BandB's Short term rental comments)

The two vehicle enclosed garage attached to the main residence was, just prior to 2006, a single vehicle carport, new roof, exterior walls, electrical, mechanical along with other improvements do not appear to have evidence that applicable permits were issued by either the County and/or the City.

Orange County Property Appraiser link: <https://www.ocpafl.org/searches/ParcelSearch.aspx>

Orange County Permit link: https://fasttrack.ocfl.net/OnlineServices/Permit_Building.aspx

Individuals' stating that they have held a Florida General Contractor license for nearly 30 years and has redeveloped multiple residential and commercial properties in Florida, while never asking for variances or zoning changes and who respects Winter Park's zoning codes and Comprehensive Plan should be cognizant of the applicable permitting and zoning requirements, including to their own property. Its illogical to presume that a former Chairman of Winter Park Lakes and Waterways Advisory as well as the Orange County Lakes Advisory Board could be so lacking of knowledge for the local rules and regulations.

Concerned and InterestedCitizen

----- Original Message -----

On Monday, January 7, 2019 8:46 PM, InterestdCitizen <InterestdCitizen@protonmail.com> wrote:

Dear Code Compliance Department,

This email is being forwarded per Mr. Wiggins' email instruction below in response to the communication sent on Saturday, January 5, 2019 7:34 PM. Per Mr. Wiggins instructions, the following addresses appear to be the properties coorelating with the those advertised in the AirBnB link that is provided herein.

1051 LAKE BELL DR, 32789 (appears to be utilizing the detached building in the rear of the property currently permitted as FDG - F/Det Garg?)
1061 LAKE BELL DR, 32789
1045 LAKE BELL DR, 32789
1003 Dupont Ave, 32789
929 Dupont Ave, 32789

Please address accordingly.

https://www.airbnb.com/s/Winter-Park/homes?refinement_paths%5B%5D=%2Fhomes&adults=1&children=0&checkin=&checkout=&allow_override%5B%5D=&map_toggle=true&zoom=17&search_by_map=true&sw_lat=28.6059186470005&sw_lng=-81.38397299719315&ne_lat=28.612068557263342&ne_lng=-81.37462935614451&s_tag=b3U89Qz2

Thank You!

Concerned and Interested Citizen

----- Original Message -----

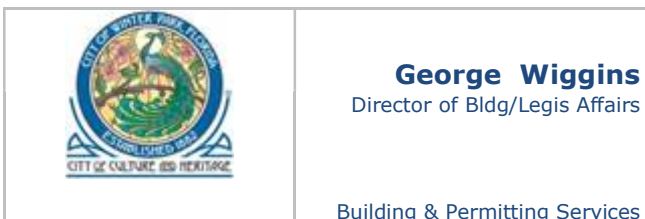
On Monday, January 7, 2019 7:00 AM, George Wiggins <Gwiggins@cityofwinterpark.org> wrote:

Please contact our Safety and Code Compliance Division to report code violations at:

<https://cityofwinterpark.org/departments/administration/risk-management/safety-code-compliance/>

Also, they will need the address of these locations in order to follow up on a code violation.

Thank you.



City of Winter Park 401 Park Ave. South Winter Park, FL. 32789 cityofwinterpark.org	407.599.3426
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From: InterestdCitizen <InterestdCitizen@protonmail.com>
Sent: Saturday, January 5, 2019 7:34 PM
Subject: AirBNB short term rental activity concerns within residential neighborhood

Dear Mr. Wiggins,

This communication is note concern with the numerous short term rentals observed as advertised on AirBNB within a City of Winter Park residential neighborhood. There are multiple single family properties (link provided below) being advertised and subsequently utilized as short term rentals. As is evident according to the reviews contained within the respective AirBnB advertisements as well as the observed non-florida vehicle tags, that these properties are being utilized as short term rentals. The subject properties are located on Early Ave, Dupont Ave, Lake Bell Drive and other nearby streets within the neighborhood that are not functioning according to the residential zoning / code of the City. The residential area is primary zoned for Model Code: 01 - Single Fam Residence and Type Code: 0103 - Single Fam Class III. It also appears that at least one property is utilizing a detached building as the specific rental unit within AirBnB of which, according to the parcel record within the OCPAFL.org website, is permitted as a FDG - F/Det Garg. Please address accordingly.

https://www.airbnb.com/s/Winter-Park/homes?refinement_paths%5B%5D=%2Fhomes&adults=1&children=0&checkin=&checkout=&allow_override%5B%5D=&map_toggle=true&zoom=17&search_by_map=true&sw_lat=28.6059186470005&sw_lng=-81.38397299719315&ne_lat=28.612068557263342&ne_lng=-81.37462935614451&s_tag=b3U89Qz2

Thank You!

Concerned and InterestedCitizen

peterjweldon@outlook.com

From: InterestdCitizen <InterestdCitizen@protonmail.com>
Sent: Friday, January 25, 2019 10:12 AM
Subject: RE: AirBNB short term rental activity concerns within residential neighborhood

Dear Ms. Martin,

thank you for the due diligence and response advising that the City is working to confirm accuracy of the official records for the subject property located at 1051 Lake Bell Drive.

In reference to statement in your email, "whether a deposit will be required to respond to such request", the following question is asked, why would a concerned citizen and City taxpayer need to be charged a deposit for this request?

As a concerned citizen and City taxpayer, the City has been provided with publicly available (and advised of the lack thereof) information for the City to address, if any, noncompliance to the required codes, ordinance and permitting. The property improvement/modification activities have not occurred over-night, within a vacuum and most concerning of all, upon researching information available to the public, without awareness for the County and City requirements by the property owner. The duty to address and confirm that all is in order resides fully with the City to insure that all property owners adhere to the expected standards.

FYI, there is yet another out of state tagged vehicle parked in front of the subject property.

regards
InterestdCitizen

Sent with [ProtonMail](#) Secure Email.

----- Original Message -----


On Thursday, January 24, 2019 5:06 PM, Susanne Porras <SPorras@cityofwinterpark.org> wrote:

Dear resident,

This email acknowledges receipt of your records request contained in your email dated January 18, 2019 8:19 AM. City staff is currently working to determine whether the City is in possession of any records responsive to your request, and whether a deposit will be required to respond to such request.

Respectfully,

Ofc. Porras

 SAFETY & CODE compliance 401 South Park Avenue Winter Park, FL 32789 407.599.3600	Susanne Porras Safety & Code Compliance Officer Risk Management Division 407.599.3283 cityofwinterpark.org/code-complaint
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Under Florida law, email addresses and written correspondence with the city become public record and must be made available to the public and media upon request (unless otherwise exempt). If you do not want your email address to be public record, please contact our office by phone.

From: InterestdCitizen <InterestdCitizen@protonmail.com>

Sent: Friday, January 18, 2019 8:19 AM

Subject: RE: AirBNB short term rental activity concerns within residential neighborhood

Dear Ms. Porras,

Thank you for the due diligence and effort required herein.

With respect to 1051 Lake Bell Drive, Winter Park, Florida 32789 Parcel # 02-22-29-0065-03-040, please provide specific website link(s) and/or official documentation which definitively confirms all applicable permits were issued and closed to support the additional structure built or converted to a residential / rental property including certificate of occupancy.

According to the Orange County Permit link which follows, the additional structure is currently displayed per permit # B00005934 as "Shed/Barn/Silo/Post Off/Jail/Boat House" with the description of "SHED ADDITION 10"X20" STORAGE ADDITION TO EXISTING STRUCTURE". Permit # E00007212 "Electrical" with the description of "SFR/ADDITION-ELEC" also does not support that this building should be advertised as it is within AIRBnB, which is that of a residence for occupancy allowing rental purposes. The website link does not show evidence that features such as bathroom, air conditioning unit, kitchen, etc., were included in the permitting process. Both of the aforementioned permits were issued 05/01/00 and closed shortly after. There were no other permits available for review within the same weblink. https://fasttrack.ocfl.net/OnlineServices/Permit_Building.aspx

The detached "Lakefront Cottage" with similar foot print as described in the permits issued back in year 2000 located to the rear of the property including all the comforts of home advertised (since

2016?) for rent within AirBnB is currently listed as FDG - F/Det Garg within the OCPAFL web site. How does a building with the description of FDG - F/DET Garg support what is, according to the AIRBnB weblink, advertised as modern, comfortable furniture, high ceiling, well-appointed kitchen, queen size bed that folds away for more daytime space. Front and rear patios with lots of tropical plants. Able to accommodate 2 guests with 1 bedroom, 1 bed, 1 bath. The AirBnB advertisement also lists the following as available within this FDG – F/Det Garg; Kitchen has glass stove top, convection/microwave oven, fridge with icemaker, large prep area, under-cabinet lighting, pots, pans, dishes, utensils, wine rack, pantry, salt, pepper, coffee and filters, coffee pot, tea kettle, butter, milk, bottled water and beers. All towels, sheets, bath soap and hand soap, paper towels and napkins furnished. Queen size bed, large couch and chair, large coffee table, 55-inch TV and surround sound system, BluRay player, Netflix, Amazon Prime and local TV stations, office desk and chair. Large tiled shower with glass bricks and a separate half bath. Its not specifically mentioned therein, however it would be difficult to believe that individuals would rent a FDG – F/Det Garg building without it having an air conditioning system available to cool/heat the unit in Florida.

<https://www.airbnb.com/rooms/14711105?location=Winter%20Park%2C%20FL%2C%20USA&adults=1&guests=1&s=OnJ5oGDh>

Annexation of the local area by Winter Park occurred sometime around year 2003. Years 2004 - 2005 were eventful years with the area experiencing several hurricanes which adversely impacted properties in Winter Park including the neighborhood. Although the local area was adversely impacted by the storms, Winter Park still required applicable permits to be issued for emergency roofing repairs or replacement along with other urgently needed replacement or repairs that the properties needed at time.

The enclosed two vehicle garage on the main residence at 1051 Lake Bell Drive was not part of property prior to year 2000. Between the years 2003 to 2006, this property still had a single vehicle carport as it was originally built back in the 1950s. There does not appear to be information readily available to determine that permit(s) were issued by either the County and/or the City after 2003 for various improvements including, but not limited to, new roof, two car garage, changes to exterior walls, electrical, mechanical (such as new air conditioning equipment) along with the other visible improvements to the main residence. It would be reasonable to presume that the improvements to the “rental unit” occurred between 2003 and 2016. Permit information and the following link provided by Winter Park Permitting department:

<https://gispublic.cityofwinterpark.org/permitstatus/>

Questions arise when comparing the currently property status with the historical records contained within the websites of three (3) separate local government offices, OCPAFL, Orange County and Winter Park permitting offices. Web site review of the historical and publicly available records (including Winter Park's permitting department) do not appear to support that all applicable permits were issued and closed for the numerous observed improvements occurring after year 2000.

Picture dated 03/30/2006 is available on the OCPAFL website (link provided below) illustrating the enclosed garage as well as other improvements to the main residence at 1051 Lake Bell Drive. This picture also illustrates the property appearance as it was on 03/30/2006 in comparison to its current physical status to observe the noticeable changes occurring since then. The OCPAFL weblink does not appear to accurately reflect the property's current footprint within its buildings detail illustration.

Orange County Property Appraiser link: <https://www.ocpafll.org/searches/ParcelSearch.aspx>

Respectfully

InterestdCitizen

Thank you for the due diligence and work required to address the topics herein.

Respectfully

InterestdCitizen

----- Original Message -----

On Tuesday, January 15, 2019 10:29 AM, Susanne Porras <SPorras@cityofwinterpark.org> wrote:

Dear resident,

This is in response to your inquiry regarding Airbnb activity on the following properties.

1. 1051 Lake Bell Drive (CC# 19-21) – Inspected the property 1/8/2019. 1st educational letter will be mail out to the homeowners. After researching OC records, it was confirmed that additional structure was approved by OC prior to Winter Park annexation.
2. 1061 Lake Bell Drive (CC# 19-22) – 1st educational letter was issued in Dec. 2018.
3. 1045 Lake Bell Drive (CC# 19-23) – 1st educational letter was issued in Dec. 2018.
4. 1003 Lake Bell Drive (CC# 19-24) – 1st educational letter was issued in Dec. 2018.
5. 929 Dupont Avenue (CC# 19-25) – 1st educational letter was issued in Dec. 2018.

We are in the process of issuing a 2nd letter to the properties that were contacted back in December of 2018. Unfortunately, investigations like this take time and multiple inspections so we appreciate your patience while we continue working on achieving voluntary compliance. Please contact us if you have any further questions or concerns about this issue.

Respectfully,

  401 South Park Avenue Winter Park, FL 32789 407.599.3600	<p>Susanne Porras Safety & Code Compliance Officer</p> <p>Risk Management Division</p> <p>407.599.3283</p> <p>cityofwinterpark.org/code-complaint</p>
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Under Florida law, email addresses and written correspondence with the city become public record and must be made available to the public and media upon request (unless otherwise exempt). If you do not want your email address to be public record, please contact our office by phone.

From: InterestdCitizen <InterestdCitizen@protonmail.com>
Sent: Tuesday, January 15, 2019 5:33 AM
Subject: RE: AirBNB short term rental activity concerns within residential neighborhood

Dear code compliance,

Please provide status and assigned case number(s).

Concerned and InterestedCitizen

----- Original Message -----

On Monday, January 7, 2019 8:46 PM, InterestdCitizen
<InterestdCitizen@protonmail.com> wrote:

Dear Code Compliance Department,

This email is being forwarded per Mr. Wiggins' email instruction below in response to the communication sent on Saturday, January 5, 2019 7:34 PM. Per Mr. Wiggins instructions, the following addresses appear to be the properties coorelating with the those advertised in the AirBnB link that is provided herein.

1051 LAKE BELL DR, 32789 (appears to be utilizing the detached building in the rear of the property currently permitted as FDG - F/Det Garg?)

1061 LAKE BELL DR, 32789

1045 LAKE BELL DR, 32789

1003 Dupont Ave, 32789

929 Dupont Ave, 32789

Please address accordingly.

https://www.airbnb.com/s/Winter-Park/homes?refinement_paths%5B%5D=%2Fhomes&adults=1&children=0&checkin=&checkout=&allow_override%5B%5D=&map_toggle=true&zoom=17&search_by_map=true&sw_lat=28.6059186470005&sw_lng=-81.38397299719315&ne_lat=28.612068557263342&ne_lng=-81.37462935614451&s_tag=b3U89Qz2

Thank You!

Concerned and InterestedCitizen

----- Original Message -----

On Monday, January 7, 2019 7:00 AM, George Wiggins
<Gwiggins@cityofwinterpark.org> wrote:

Please contact our Safety and Code Compliance Division
to report code violations at:

[https://cityofwinterpark.org/departments/administrati
on/risk-management/safety-code-compliance/](https://cityofwinterpark.org/departments/administrati
on/risk-management/safety-code-compliance/)

Also, they will need the address of these locations in
order to follow up on a code violation.

Thank you.

 <p>City of Winter Park 401 Park Ave. South Winter Park, FL. 32789 cityofwinterpark.org</p>	<p>George Wiggins Director of Bldg/Legis Affairs Building & Permitting Services 407.599.3426</p>
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From: InterestdCitizen
<InterestdCitizen@protonmail.com>
Sent: Saturday, January 5, 2019 7:34 PM
Subject: AirBNB short term rental activity concerns
within residential neighborhood

Dear Mr. Wiggins,

This communication is note concern with the numerous short term rentals observed as advertised on AirBNB within a City of Winter Park residential neighborhood. There are multiple single family properties (link provided below) being advertised and subsequently utilized as short term rentals. As is evident according to the reviews contained within the respective AirBnB advertisements as well as the observed non-florida vehicle tags, that these properties are being utilized as short term rentals. The subject properties are located on Early Ave, Dupont Ave, Lake Bell Drive and other nearby streets within the neighborhood that are not functioning according to the residential zoning / code of the City. The residential area is primary zoned for Model Code: 01 - Single Fam Residence and Type Code: 0103 - Single Fam Class III. It also appears that at least one property is utilizing a detached building as the specific rental unit within AirBnB of which, according to the parcel record within the OCPAFL.org website, is pennitted as a FDG - F/Det Garg. Please address accordingly.

https://www.airbnb.com/s/Winter-Park/homes?refinement_paths%5B%5D=%2Fhomes&adults=1&children=0&checkin=&checkout=&allow_override%5B%5D=&map_toggle=true&zoom=17&search_by_map=true&sw_lat=28.6059186470005&sw_lng=-81.38397299719315&ne_lat=28.612068557263342&ne_lng=-81.37462935614451&s_tag=b3U89Qz2

Thank You!

Concerned and InterestedCitizen

peterjweldon@outlook.com

From: InterestdCitizen <InterestdCitizen@protonmail.com>
Sent: Tuesday, February 19, 2019 8:59 PM
To: Keri Martin
Cc: George Wiggins; Susanne Porras
Subject: RE: AirBNB short term rental activity concerns within residential neighborhood

Dear Ms. Martin,

thank you for the email communication and the attachment for the fence permit.

Dear Mr. Wiggins,

Follow up to Ms. Martin's advisory in email below dated January 31, 2109. The attachment provided by Ms. Martin for the fence permit appears to depict property status within the Plot Plan section including the main residence improvements / modifications and also lists the detached garage located to the rear of the property utilized as the AIRBNB rental as a "studio". Please provide confirmation along with official permit documentation for the requested information (i.e. official permitting records) expected for all property improvements / modifications to 1051 Lake Bell Drive, Winter Park, Florida 32789 Parcel # 02-22-29-0065-03-040.

Three separate agencies / departments, Orange County Property Appraiser, Orange County Permitting including Winter Park have not yet provided conclusive responses to the requests for public information.

regards
InterestdCitizen

----- Original Message -----

On Thursday, January 31, 2019 1:38 PM, Keri Martin <kmartin@cityofwinterpark.org> wrote:

Good afternoon,

Attached is the only permit found by the Building Department that is responsive to your request.

I referred the balance of your email request for official documentation regarding the property improvements to George Wiggins for response.

Kind regards,

Keri

From: InterestdCitizen <InterestdCitizen@protonmail.com>

Sent: Tuesday, January 29, 2019 6:14 AM

Subject: RE: AirBNB short term rental activity concerns within residential neighborhood

Dear Ms. Porras,

Thank you for the advisory and due diligence. Please provide confirmation for when the balance of the requested information (i.e. official permitting records) should be expected for 1051 Lake Bell Drive, Winter Park, Florida 32789 Parcel # 02-22-29-0065-03-040.

As previously requested, please provide specific website link(s) and/or official documentation which definitively confirms that all applicable permits were issued and closed to support the detached structure built or converted to a residential / rental property including its certificate of occupancy. As well as the official permitting records for all property improvements and/or modifications performed to the property over the years.

If official records do not exist for the subject property, it would then be reasonable to surmise that the detached building should not have been advertised and/or utilized as rental accommodation including within AIRBNB for the past several years. It would also be reasonable to surmise that most, if not all, of the property improvements and/or modifications were facilitated without proper permits being issued from the respective agency.

The expectation would be that all property owners adhere to the same legal requirements and standards regardless of who they may be or may want to become in the near future. Based on the readily available public information, including the property owner's campaign information, it's surprising to learn that the base knowledge of the requirements is lacking by this property. It would be reasonable to surmise that someone who was a "past Orange County Lakes Advisory Board and Past Chairman of Winter Park Lakes and Waterways Advisory Board" would understand what is required. Especially considering that the individual "has held a Florida General Contractor license for nearly 30 years and has redeveloped multiple residential and commercial properties in Florida, while never asking for variances or zoning changes."

regards

InterestdCitizen

Sent with [ProtonMail](#) Secure Email.

----- Original Message -----


On Monday, January 28, 2019 3:46 PM, Susanne Porras <SPorras@cityofwinterpark.org> wrote:

Dear resident,

This is an update on your email complaint about 1051 Lake Bell Drive. We investigated the property for Airbnb use and homeowner decided to cease the rental use after the initial inspection. It has been confirmed that the Airbnb listing has been removed from the website.

Respectfully,

Ofc. Porras

 SAFETY & CODE compliance	Susanne Porras Safety & Code Compliance Officer
401 South Park Avenue	Risk Management Division
Winter Park, FL 32789	407.599.3283
407.599.3600	cityofwinterpark.org/code-complaint



Under Florida law, email addresses and written correspondence with the city become public record and must be made available to the public and media upon request (unless otherwise exempt). If you do not want your email address to be public record, please contact our office by phone.


From: Susanne Porras
Sent: Thursday, January 24, 2019 5:07 PM
To: 'InterestdCitizen' <InterestdCitizen@protonmail.com>
Subject: RE: AirBNB short term rental activity concerns within residential neighborhood
Importance: High

Dear resident,

This email acknowledges receipt of your records request contained in your email dated January 18, 2019 8:19 AM. City staff is currently working to determine whether the City is in possession of any records responsive to your request, and whether a deposit will be required to respond to such request.

Respectfully,

Ofc. Porras

 SAFETY & CODE compliance 401 South Park Avenue Winter Park, FL 32789 407.599.3600	<p>Susanne Porras Safety & Code Compliance Officer</p> <p>Risk Management Division</p> 407.599.3283 cityofwinterpark.org/code-complaint
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Under Florida law, email addresses and written correspondence with the city become public record and must be made available to the public and media upon request (unless otherwise exempt). If you do not want your email address to be public record, please contact our office by phone.

From: InterestdCitizen <InterestdCitizen@protonmail.com>

Sent: Friday, January 18, 2019 8:19 AM

Subject: RE: AirBNB short term rental activity concerns within residential neighborhood

Dear Ms. Porras,

Thank you for the due diligence and effort required herein.

With respect to 1051 Lake Bell Drive, Winter Park, Florida 32789 Parcel # 02-22-29-0065-03-040, please provide specific website link(s) and/or official documentation which definitively confirms all applicable permits were issued and closed to support the additional structure built or converted to a residential / rental property including certificate of occupancy.

According to the Orange County Permit link which follows, the additional structure is currently displayed per permit # B00005934 as "Shed/Barn/Silo/Post Off/Jail/Boat House" with the description of "SHED ADDITION 10"X20" STORAGE ADDITION TO EXISTING STRUCTURE". Permit # E00007212 "Electrical" with the description of "SFR/ADDITION-ELEC" also does not support that this building should be advertised as it is within AIRBnB, which is that of a residence for occupancy allowing rental purposes. The website link does not show evidence that features such as bathroom, air conditioning unit, kitchen, etc., were included in the permitting process. Both of the aforementioned permits were issued 05/01/00 and closed shortly after. There were no other permits available for review within the same weblink. https://fasttrack.ocfl.net/OnlineServices/Permit_Building.aspx

The detached "Lakefront Cottage" with similar foot print as described in the permits issued back in year 2000 located to the rear of the property including all the comforts of home advertised (since 2016?) for rent within AirBnB is currently listed as FDG - F/Det Garg within the OCPAFL web site. How does a building with the description of FDG - F/DET Garg support what is, according to the AIRBnB weblink, advertised as modern, comfortable furniture, high ceiling, well-appointed kitchen, queen size bed that folds away for more daytime space. Front and rear patios with lots of tropical plants. Able to accommodate 2 guests with 1 bedroom, 1 bed, 1 bath. The AirBnB advertisement also lists the following as available within this FDG – F/Det Garg; Kitchen has glass stove top, convection/microwave oven, fridge with icemaker, large prep area, under-cabinet lighting, pots, pans, dishes, utensils, wine rack, pantry, salt, pepper, coffee and filters, coffee pot, tea kettle, butter, milk, bottled water and beers. All towels, sheets, bath soap and hand soap, paper towels and napkins furnished. Queen size bed, large couch and chair, large coffee table, 55-inch TV and surround sound system, BluRay player, Netflix, Amazon Prime and local TV stations, office desk and chair. Large tiled shower with glass bricks and a separate half bath. Its not specifically mentioned therein, however it would be difficult to believe that individuals would rent a FDG – F/Det Garg building without it having an air conditioning system available to cool/heat the unit in Florida.

<https://www.airbnb.com/rooms/14711105?location=Winter%20Park%2C%20FL%2C%20USA&adults=1&guests=1&s=OnJ5oGDh>

Annexation of the local area by Winter Park occurred sometime around year 2003. Years 2004 - 2005 were eventful years with the area experiencing several hurricanes which adversely impacted properties in Winter Park including the neighborhood. Although the local area was adversely impacted by the storms, Winter Park still required applicable permits to be issued for emergency roofing repairs or replacement along with other urgently needed replacement or repairs that the properties needed at time.

The enclosed two vehicle garage on the main residence at 1051 Lake Bell Drive was not part of property prior to year 2000. Between the years 2003 to 2006, this property still had a single vehicle carport as it was originally built back in the 1950s. There does not appear to be information readily available to determine that permit(s) were issued

by either the County and/or the City after 2003 for various improvements including, but not limited to, new roof, two car garage, changes to exterior walls, electrical, mechanical (such as new air conditioning equipment) along with the other visible improvements to the main residence. It would be reasonable to presume that the improvements to the "rental unit" occurred between 2003 and 2016. Permit information and the following link provided by Winter Park Permitting department:

<https://gispublic.cityofwinterpark.org/permitstatus/>

Questions arise when comparing the current property status with the historical records contained within the websites of three (3) separate local government offices, OCPAFL, Orange County and Winter Park permitting offices. Web site review of the historical and publicly available records (including Winter Park's permitting department) do not appear to support that all applicable permits were issued and closed for the numerous observed improvements occurring after year 2000.

Picture dated 03/30/2006 is available on the OCPAFL website (link provided below) illustrating the enclosed garage as well as other improvements to the main residence at 1051 Lake Bell Drive. This picture also illustrates the property appearance as it was on 03/30/2006 in comparison to its current physical status to observe the noticeable changes occurring since then. The OCPAFL weblink does not appear to accurately reflect the property's current footprint within its buildings detail illustration.

Orange County Property Appraiser

link: <https://www.ocpaf.org/searches/ParcelSearch.aspx>

Respectfully

InterestdCitizen

Thank you for the due diligence and work required to address the topics herein.

Respectfully

InterestdCitizen

----- Original Message -----

On Tuesday, January 15, 2019 10:29 AM, Susanne Porras
<SPorras@cityofwinterpark.org> wrote:

Dear resident,

This is in response to your inquiry regarding Airbnb activity on the following properties.

1. 1051 Lake Bell Drive (CC# 19-21) – Inspected the property 1/8/2019. 1st educational letter will be mail out to the homeowners. After researching OC records, it was confirmed that additional structure was approved by OC prior to Winter Park annexation.
2. 1061 Lake Bell Drive (CC# 19-22) – 1st educational letter was issued in Dec. 2018.
3. 1045 Lake Bell Drive (CC# 19-23) – 1st educational letter was issued in Dec. 2018.
4. 1003 Lake Bell Drive (CC# 19-24) – 1st educational letter was issued in Dec. 2018.
5. 929 Dupont Avenue (CC# 19-25) – 1st educational letter was issued in Dec. 2018.

We are in the process of issuing a 2nd letter to the properties that were contacted back in December of 2018. Unfortunately, investigations like this take time and multiple inspections so we appreciate your patience while we continue working on achieving voluntary compliance. Please contact us if you have any further questions or concerns about this issue.

Respectfully,

	<p style="text-align: center;">Susanne Porras Safety & Code Compliance Officer</p> <p style="text-align: center;">Risk Management Division</p>
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 SAFETY & CODE compliance	
401 South Park Avenue	
Winter Park, FL 32789	407.599.3283
407.599.3600	cityofwinterpark.org/code-complaint



Under Florida law, email addresses and written correspondence with the city become public record and must be made available to the public and media upon request (unless otherwise exempt). If you do not want your email address to be public record, please contact our office by phone.

From: InterestdCitizen <InterestdCitizen@protonmail.com>
Sent: Tuesday, January 15, 2019 5:33 AM
Subject: RE: AirBNB short term rental activity concerns within residential neighborhood

Dear code compliance,

Please provide status and assigned case number(s).

Concerned and InterestedCitizen

----- Original Message -----

On Monday, January 7, 2019 8:46 PM, InterestdCitizen
<InterestdCitizen@protonmail.com> wrote:

Dear Code Compliance Department,

This email is being forwarded per Mr. Wiggins' email instruction below in response to the communication sent on Saturday, January 5, 2019 7:34 PM. Per Mr. Wiggins instructions, the following addresses appear to be the properties coorelating with the those advertised in the AirBnB link that is provided herein.

1051 LAKE BELL DR, 32789 (appears to be utilizing the detached building in the rear of the property currently pennitted as FDG - F/Det Garg?)

1061 LAKE BELL DR, 32789

1045 LAKE BELL DR, 32789

1003 Dupont Ave, 32789

929 Dupont Ave, 32789

Please address accordingly.

https://www.airbnb.com/s/Winter-Park/homes?refinement_paths%5B%5D=%2Fhomes&adults=1&children=0&checkin=&checkout=&allow_override%5B%5D=&map_toggle=true&zoom=17&search_by_map=true&sw_lat=28.6059186470005&sw_lng=-81.38397299719315&ne_lat=28.612068557263342&ne_lng=-81.37462935614451&s_tag=b3U89Qz2

Thank You!

Concerned and InterestedCitizen

----- Original Message -----

On Monday, January 7, 2019 7:00 AM, George Wiggins
<Gwiggins@cityofwinterpark.org> wrote:

Please contact our Safety and Code Compliance Division to report code violations at:

<https://cityofwinterpark.org/departments/administration/risk-management/safety-code-compliance/>

Also, they will need the address of these locations in order to follow up on a code violation.

Thank you.

 <p>City of Winter Park 401 Park Ave. South Winter Park, FL. 32789 cityofwinterpark.org</p>	<p>George Wiggins Director of Bldg/Legis Affairs</p> <p>Building & Permitting Services</p> <p>407.599.3426</p>
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From: InterestdCitizen
<InterestdCitizen@protonmail.com>
Sent: Saturday, January 5, 2019 7:34 PM
Subject: AirBNB short term rental activity concerns within residential neighborhood

Dear Mr. Wiggins,

This communication is note concern with the numerous short term rentals observed as advertised on AirBNB within a City of Winter Park residential neighborhood. There are multiple single family properties (link provided below) being advertised and subsequently utilized as short term rentals. As is evident according to the reviews contained within the respective AirBnB advertisements as well as the observed non-florida vehicle tags, that these properties are being utilized as short term rentals. The subject properties are located on Early Ave, Dupont Ave, Lake Bell Drive and other nearby streets within the neighborhood that are not functioning according to the residential zoning / code of the City. The residential area is primary zoned for Model Code: 01 - Single Fam Residence and Type Code: 0103 - Single Fam Class III. It also appears that at least one property is utilizing a detached building as the specific rental unit within AirBnB of which, according to the parcel record within the OCPAFL.org website, is pennitted as a FDG - F/Det Garg. Please address accordingly.

https://www.airbnb.com/s/Winter-Park/homes?refinement_paths%5B%5D=%2Fhomes&adults=1&children=0&checkin=&checkout=&allow_override%5B%5D=&map_toggle=true&zoom=17&search_by_map=true&sw_lat=28.6059186470005&sw_lng=-81.38397299719315&ne_lat=28.612068557263342&ne_lng=-81.37462935614451&s_tag=b3U89Qz2

Thank You!

Concerned and InterestedCitizen

peterjweldon@outlook.com

From: InterestdCitizen <InterestdCitizen@protonmail.com>
Sent: Monday, March 4, 2019 10:36 PM
Subject: RE: AirBNB short term rental activity concerns within residential neighborhood

Dear Mr. Wiggins,

Its been more than two months since requesting (via multiple communications) for confirmation along with the official permit documentation / information (i.e. official permitting records, issued and closed) expected for all property improvements / modifications performed to 1051 Lake Bell Drive, Winter Park, Florida 32789 Parcel # 02-22-29-0065-03-040. The request also includes subject building described as a "detached garage" (Orange County property appraiser website - FDG - F/Det Garg) located to the rear of the property utilized as the AIRBandB "rental" which has been described as a "studio" and "cottage".

Your name was mentioned by the owner of the subject property in a circulated email communication as follows, "There are no ordinance, code, usage, permitting or any other violations per George Wiggins."

Mr. Wiggins where is the requested information including certificate of occupancy for the "studio" and/or "cottage" to function as a "rental"?

Mr. Wiggins, once again, it is respectfully requested that the information be provided post haste.

On February 21, 2019, Mike Lafferty of the Orlando Sentinel published an opinion piece titled "Fact or fake: Did a Winter Park candidate's Airbnb rentals violate city rules?" <https://www.orlandosentinel.com/opinion/fact-or-fake/os-op-winter-park-election-fact-or-fake-20190220-story.html> Even though the opinion piece concluded as being "Mostly Fact", the article did not address that a fact check was performed on all candidates referenced therein. There was no mention within the article that a publicly available information check was also performed to confirm "facts" about this "cottage" including its permitting information (or lack thereof). Three separate local agencies / departments, Orange County Property Appraiser, Orange County Permitting including Winter Park have yet to provide conclusive and/or definitive responses for the information requested. This article did not confirm timing thereof for the following statement, "once he learned of it, changed the ad to indicate a minimum 30-day stay was needed." When exactly did this occur? Did this occur prior to or after the candidate's recorded appearance on the July 9, 2018 Public Comments {items not on the agenda} regarding Air BandB's topic where "He asked that the Commission also consider a compromise"? <https://cityofwinterpark.org/docs/government/city-commission/minutes/min-2018-07-09.pdf>

This article did not mention if inquiries to the relevant Winter Park department were performed regarding the AirBandB related concerns for the subject property including those noticed adjacent to either side of said property as well as those noticed within the immediate neighborhood. Perhaps the referenced ad change did not occur until after the recent concerns of the AirBandB activities were communicated to the City?

regards
InterestdCitizen

----- Original Message -----

On Wednesday, February 20, 2019 1:59 AM, InterestdCitizen <InterestdCitizen@protonmail.com> wrote:

Dear Ms. Martin,

thank you for the email communication and the attachment for the fence permit.

Dear Mr. Wiggins,

Follow up to Ms. Martin's advisory in email below dated January 31, 2109. The attachment provided by Ms. Martin for the fence permit appears to depict property status within the Plot Plan section including the main residence improvements / modifications and also lists the detached garage located to the rear of the property utilized as the AIRBNB rental as a "studio". Please provide confirmation along with official permit documentation for the requested information (i.e. official permitting records) expected for all property improvements / modifications to 1051 Lake Bell Drive, Winter Park, Florida 32789 Parcel # 02-22-29-0065-03-040.

Three separate agencies / departments, Orange County Property Appraiser, Orange County Permitting including Winter Park have not yet provided conclusive responses to the requests for public information.

regards
InterestdCitizen

----- Original Message -----

On Thursday, January 31, 2019 1:38 PM, Keri Martin <kmartin@cityofwinterpark.org> wrote:

Good afternoon,

Attached is the only permit found by the Building Department that is responsive to your request.

I referred the balance of your email request for official documentation regarding the property improvements to George Wiggins for response.

Kind regards,

Keri

From: InterestdCitizen <InterestdCitizen@protonmail.com>

Sent: Tuesday, January 29, 2019 6:14 AM

Subject: RE: AirBNB short term rental activity concerns within residential neighborhood

Dear Ms. Porras,

Thank you for the advisory and due diligence. Please provide confirmation for when the balance of the requested information (i.e. official permitting records) should be expected for 1051 Lake Bell Drive, Winter Park, Florida 32789 Parcel # 02-22-29-0065-03-040.

As previously requested, please provide specific website link(s) and/or official documentation which definitively confirms that all applicable permits were issued and closed to support the detached structure built or converted to a residential / rental property including its certificate of occupancy. As well as the official permitting records for all property improvements and/or modifications performed to the property over the years.

If official records do not exist for the subject property, it would then be reasonable to surmise that the detached building should not have been advertised and/or utilized as rental accommodation including within AIRBNB for the past several years. It would also be reasonable to surmise that most, if not all, of the property improvements and/or modifications were facilitated without proper permits being issued from the respective agency.

The expectation would be that all property owners adhere to the same legal requirements and standards regardless of who they may be or may want to become in the near future. Based on the readily available public information, including the property owner's campaign information, its surprising to learn that the base knowledge of the requirements is lacking by this property. It would be reasonable to surmise that someone who was a "past Orange County Lakes Advisory Board and Past Chairman of Winter Park Lakes and Waterways Advisory Board" would understand what is required. Especially considering that the individual "has held a Florida General Contractor license for nearly 30 years and has redeveloped multiple residential and commercial properties in Florida, while never asking for variances or zoning changes."

regards

InterestdCitizen

From: InterestdCitizen <InterestdCitizen@protonmail.com>
Sent: Monday, March 11, 2019 10:31 PM
Subject: RE: AirBNB short term rental activity concerns within residential neighborhood

Dear Mr. Wiggins,

Thank you for the response.

Considering the publicly available information provided to the various parties via the numerous communication(s), it's disappointing that confirmation of all historical permits prior to 2004 have not yet been provided. Thank you for confirming that Winter Park has not issued the permits for all of the observed physical improvements, upgrades and remodeling to the property from 2004 to the present. With all due respect, it's surprising to observe reliance on the verbal and email communications from the property owner considering that same individual has invoked your name ("There are no ordinance, code, usage, permitting or any other violations per George Wiggins.") as confirmation that all permits were issued and closed for all of the physical improvements, upgrades and remodeling occurring to the property since to 2004. Even if there were a toilet and sink installed prior to 2004 within the "detached garage" to the east and rear of the main residence, its unlikely that it was built to function as a guest residence prior to 2004, never-the-less and more importantly (and most certainly after 2004) the building was not intended (or allowed per code) to be utilized as a "rental" property adhering to the requirements for "rental" usage (even within AirBnB). Let's not forget that the subject property is still located within a single family zoned residential area.

Previously provided data;

Orange County Permitting link https://fasttrack.ocfl.net/OnlineServices/Permit_Building.aspx?SearchID=RES
Permit # B00005934 SHED ADDITION 10"X20" STORAGE ADDITION TO EXISTING STRUCTURE issued on 05-01-00. This clearly states in the description that it is a "SHED ADDITION..." The building is listed a 482 sqft FDG - F/Det Garg within Orange County Property Appraise weblink. It is not referenced as a "guest facility (accessory living quarters)"
Permit # E00007212 Electrical Permit issued 05/01/00. The permit only lists 3 fixtures, 7 outlets and 2 switches. Significantly less then the physical attributes that building currently contains. Furthermore, even though the system shows as "complete" Permit # E00007212 is still listed with the Final Issuance with an open status.

Orange County Property Appraiser link still lists the property as a single family residence with the subject building description as a FDG - F/Det Garg. <https://www.ocpafl.org/searches/ParcelSearch.aspx> this description would not support the building as a "guest facility (accessory living quarters)." The OCPA weblink for the subject property reflects that the data contained therein has been updated on several occasions since 2004.

As you are most certainly aware (the property owner as well), Florida Building Codes and local construction ordinances require the following types of permits issued; building, electrical, gas, mechanical, plumbing and roofing. Per your communication, Winter Park has no record of permit(s) issued for the property's carport transformation into a enclosed garage on the main residence. Where is the roofing permit for its replacement after the 2004 / 2005 hurricane events? Where are the permit(s) for the central A/C equipment added to the detached shed / garage as well as the replacement to the main residence? Some of these items would even provide the required dates for data consisting of the manufacturing, sale, installation, etc. Orange County does not list permit information for these events or items.

It's somewhat challenging to arrive at the conclusion that three separate local agencies; Orange County permitting, Orange County Property Appraiser and Winter Park cannot provide conclusive evidence all permits were issued and closed satisfactory.

Mr. Wiggins, you are most likely aware that the property owner is running for Winter Park Commission Seat # 4. Thus, it is imperative that the concerns raised herein are definitively and conclusively addressed, sooner rather than later.

regards
InterestdCitizen

----- Original Message -----

On Thursday, March 7, 2019 1:37 PM, George Wiggins <Gwiggins@cityofwinterpark.org> wrote:

To: InterestdCitizen

Following up on your inquiry, in February, I met with the property owner, and he stated the following by email and in person:

"The east half of the building (workshop) in question was grandfathered in when I bought the property in 1997. The existing building had a toilet, work sink and a shower when I bought it. The original underground plumbing is still intact.

Orange County permitted the west half in 1999, which is basically a mirror image of the east half. The entire structure was tied together under that permit. The permitted west half complied with all setback and other OC codes at that time. That permit had an underground 100-amp service to the south wall, which is original and in its original placement. All work was inspected and approved by Orange County and a CO was awarded.

Since those files are older than anything I keep, including tax records, one would have to probe Orange County records to retrieve them."

Therefore, when this property was annexed into the City in 2004, there existed a grandfathered in guest facility (accessory living quarters) which is not unusual when properties are annexed.

Also, we do not have a Certificate of Occupancy for any of the buildings on that property since those structures were built while in unincorporated Orange County.. However, we have forwarded to you the permits obtained in the City over the years since this property was annexed.

Thank you for your attention to this matter.



City of Winter Park
401 Park Ave. South

Winter Park, FL. 32789
cityofwinterpark.org

George Wiggins

Director of Bldg/Legis Affairs

Building & Permitting Services

407.599.3426

From: George Wiggins

Sent: Tuesday, March 5, 2019 11:24 AM

To: 'InterestdCitizen' <InterestdCitizen@protonmail.com>

Cc: Keri Martin <kmartin@cityofwinterpark.org>; Theresa Dunkle <tdunkle@cityofwinterpark.org>

Subject: RE: AirBNB short term rental activity concerns within residential neighborhood

To: InterestdCitizen

On Jan 5 you sent me a message regarding advertisement of 1051 Lake Bell Dr property being advertised as an Airbnb, to which I responded on Jan 7, 7AM that you should contact Safety and Code Compliance Division to report code violation and I gave you the web site link to facilitate your inquiry. On Jan 25, Ms. Keri Martin, our City's Risk Manager who oversees Safety and Code Compliance requested my assistance in providing additional requested information concerning structures on this property. On the same day I asked Theresa Dunkle, one of our code analyst plans examiners, to forward information regarding documentation concerning permitting activity that has occurred on the property at 1051 Lake Bell Drive. That information found (fence permit) was later forwarded to you, which is included in the attached document.

In addition, we did find that a paver permit was issued for the driveway on that property, however, I did not feel it was germane to your inquiry about vertical structures on the property and the subject of your inquiry. I am attaching a copy of that paver permit for your information.

I must go to a meeting but will get back with you on information related to your inquiry later.

Since the AirBnB issue has been dealt with by our Code Compliance Division, I am not aware of any other violations on this property.

 <p>City of Winter Park 401 Park Ave. South</p> <p>Winter Park, FL. 32789 cityofwinterpark.org</p>	<p>George Wiggins Director of Bldg/Legis Affairs</p> <p>Building & Permitting Services</p> <p>407.599.3426</p>
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From: InterestdCitizen <InterestdCitizen@protonmail.com>
Sent: Monday, March 4, 2019 10:36 PM
Subject: RE: AirBNB short term rental activity concerns within residential neighborhood

Dear Mr. Wiggins,

Its been more than two months since requesting (via multiple communications) for confirmation along with the official permit documentation / information (i.e. official permitting records, issued and closed) expected for all property improvements / modifications performed to 1051 Lake Bell Drive, Winter Park, Florida 32789 Parcel # 02-22-29-0065-03-040. The request also includes subject building described as a "detached garage" (Orange County property appraiser website - FDG - F/Det Garg) located to the rear of the property utilized as the AIRBandB "rental" which has been described as a "studio" and "cottage".

Your name was mentioned by the owner of the subject property in a circulated email communication as follows, "There are no ordinance, code, usage, permitting or any other violations per George Wiggins."

Mr. Wiggins where is the requested information including certificate of occupancy for the "studio" and/or "cottage" to function as a "rental"?

Mr. Wiggins, once again, it is respectfully requested that the information be provided post haste.

On February 21, 2019, Mike Lafferty of the Orlando Sentinel published an opinion piece titled "Fact or fake: Did a Winter Park candidate's Airbnb rentals violate city rules?" <https://www.orlandosentinel.com/opinion/fact-or-fake/os-op-winter-park-election-fact-or-fake-20190220-story.html> Even though the opinion piece concluded as being "Mostly Fact", the article did not address that a fact check was performed on all candidates referenced therein. There was no mention within the article that a publicly available information check was also performed to confirm "facts" about this "cottage" including its permitting information (or lack thereof). Three separate local agencies / departments, Orange County Property Appraiser, Orange County Permitting including Winter Park have yet to provide conclusive and/or definitive responses for the information requested. This article did not confirm timing thereof for the following statement, "once he learned of it, changed the ad to indicate a minimum 30-day stay was needed." When exactly did this occur? Did this occur prior to or after the candidate's recorded appearance on the July 9, 2018 Public Comments {items not on the agenda} regarding Air BandB's topic where "He asked that the Commission also consider a compromise"? <https://cityofwinterpark.org/docs/government/city-commission/minutes/min-2018-07-09.pdf>

This article did not mention if inquiries to the relevant Winter Park department were performed regarding the AirBandB related concerns for the subject property including those noticed adjacent to either side of said property as well as those noticed within the immediate neighborhood. Perhaps the referenced ad change did not occur until after the recent concerns of the AirBandB activities were communicated to the City?

regards

InterestdCitizen

----- Original Message -----

On Wednesday, February 20, 2019 1:59 AM, InterestdCitizen <InterestdCitizen@protonmail.com> wrote:

Dear Ms. Martin,

thank you for the email communication and the attachment for the fence permit.

Dear Mr. Wiggins,

Follow up to Ms. Martin's advisory in email below dated January 31, 2109. The attachment provided by Ms. Martin for the fence permit appears to depict property status within the Plot Plan section including the main residence improvements / modifications and also lists the detached garage located to the rear of the property utilized as the AIRBNB rental as a "studio". Please provide confirmation along with official permit documentation for the requested information (i.e. official permitting records) expected for all property improvements / modifications to 1051 Lake Bell Drive, Winter Park, Florida 32789 Parcel # 02-22-29-0065-03-040.

Three separate agencies / departments, Orange County Property Appraiser, Orange County Permitting including Winter Park have not yet provided conclusive responses to the requests for public information.

regards

InterestdCitizen

----- Original Message -----

On Thursday, January 31, 2019 1:38 PM, Keri Martin <kmartin@cityofwinterpark.org> wrote:

Good afternoon,

Attached is the only permit found by the Building Department that is responsive to your request.

I referred the balance of your email request for official documentation regarding the property improvements to George Wiggins for response.

Kind regards,

Keri

From: InterestdCitizen <InterestdCitizen@protonmail.com>
Sent: Tuesday, January 29, 2019 6:14 AM
Subject: RE: AirBNB short term rental activity concerns within residential neighborhood

Dear Ms. Porras,

Thank you for the advisory and due diligence. Please provide confirmation for when the balance of the requested information (i.e. official permitting records) should be expected for 1051 Lake Bell Drive, Winter Park, Florida 32789 Parcel # 02-22-29-0065-03-040.

As previously requested, please provide specific website link(s) and/or official documentation which definitively confirms that all applicable permits were issued and closed to support the detached structure built or converted to a residential / rental property including its certificate of occupancy. As well as the official permitting records for all property improvements and/or modifications performed to the property over the years.

If official records do not exist for the subject property, it would then be reasonable to surmise that the detached building should not have been advertised and/or utilized as rental accommodation including within AIRBNB for the past several years. It would also be reasonable to surmise that most, if not all, of the property improvements and/or modifications were facilitated without proper permits being issued from the respective agency.

The expectation would be that all property owners adhere to the same legal requirements and standards regardless of who they may be or may want to become in the near future. Based on the readily available public information, including the property owner's campaign information, its surprising to learn that the base knowledge of the requirements is lacking by this property. It would be reasonable to surmise that someone who was a "past Orange County Lakes Advisory Board and Past Chairman of Winter Park Lakes and Waterways Advisory Board" would understand what is required. Especially considering that the individual "has held a Florida General Contractor license for nearly 30 years and has redeveloped multiple residential and commercial properties in Florida, while never asking for variances or zoning changes."

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Sent: Tuesday, March 19, 2019 1:58 PM
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We have yet to receive definitive response to the requests submitted herein. The property owner has invoked your name ("There are no ordinance, code, usage, permitting or any other violations per George Wiggins.") as confirmation / support that all permits were issued and closed by the respective agency for all physical improvements, upgrades and remodeling occurring since 2004. Awareness that the statement of non-violations would not be accurate.

You are hereby requested to promptly provide the official documentation supporting the property owner's claim confirming all permits were duly issued and approved. Please do not communicate again that all of the property improvements occurred prior to being annexed by Winter Park and were subsequently grandfathered in. The "guest house" utilized as a rental unit was functioning as a storage/shed/garage after the Winter Park annexation from Orange County occurred. That vertical structure changed significantly after its annexation into a Winter Park.

Note that the following communication(s) shall be escalated to the next level(s) of City management.

Regards
InterestedCitizen

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Therefore, when this property was annexed into the City in 2004, there existed a grandfathered in guest facility (accessory living quarters) which is not unusual when properties are annexed.

Also, we do not have a Certificate of Occupancy for any of the buildings on that property since those structures were built while in unincorporated Orange County.. However, we have forwarded to you the permits obtained in the City over the years since this property was annexed.

Thank you for your attention to this matter.

 <p>City of Winter Park 401 Park Ave. South</p> <p>Winter Park, FL. 32789 cityofwinterpark.org</p>	<p>George Wiggins Director of Bldg/Legis Affairs</p> <p>Building & Permitting Services</p> <p>407.599.3426</p>
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From: George Wiggins
Sent: Tuesday, March 5, 2019 11:24 AM
To: 'InterestdCitizen' <InterestdCitizen@protonmail.com>
Cc: Keri Martin <kmartin@cityofwinterpark.org>; Theresa Dunkle <tdunkle@cityofwinterpark.org>
Subject: RE: AirBNB short term rental activity concerns within residential neighborhood

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Director of Bldg/Legis Affairs

Building & Permitting Services

City of Winter Park
401 Park Ave. South

Winter Park, FL. 32789
cityofwinterpark.org

407.599.3426

From: InterestdCitizen <InterestdCitizen@protonmail.com>

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Kind regards,

Keri

From: InterestdCitizen
<InterestdCitizen@protonmail.com>
Sent: Tuesday, January 29, 2019 6:14 AM
Subject: RE: AirBNB short term rental activity concerns within residential neighborhood

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regards

InterestdCitizen

From: InterestdCitizen <InterestdCitizen@protonmail.com>
Sent: Wednesday, March 27, 2019 5:23 PM
Subject: Fw: RE: AirBNB short term rental activity concerns within residential neighborhood

----- Original Message -----

On Wednesday, March 20, 2019 8:21 AM, George Wiggins <Gwiggins@cityofwinterpark.org> wrote:

I will be taking up this matter with our City Attorney for future guidance and suggestions. As I mentioned we have pulled up our records of permit activity on this property and forwarded that information to you.

 <p>City of Winter Park 401 Park Ave. South Winter Park, FL. 32789 cityofwinterpark.org</p>	<p>George Wiggins Director of Bldg/Legis Affairs</p> <p>Building & Permitting Services</p> <p>407.599.3426</p>
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From: InterestdCitizen <InterestdCitizen@protonmail.com>
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all physical improvements, upgrades and remodeling occurring since 2004. Awareness that the statement of non-violations would not be accurate.

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On Monday, March 11, 2019 10:30 PM, InterestdCitizen <InterestdCitizen@protonmail.com> wrote:

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forget that the subject property is still located within a single family zoned residential area.

Previously provided data;

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https://fasttrack.ocfl.net/OnlineServices/Permit_Building.aspx?SearchID=RES

Permit # B00005934 SHED ADDITION 10"X20" STORAGE ADDITION TO EXISTING STRUCTURE issued on 05-01-00. This clearly states in the description that it is a "SHED ADDITION..." The building is listed a 482 sqft FDG - F/Det Garg within Orange County Property Appraise weblink. It is not referenced as a "guest facility (accessory living quarters)"

Permit # E00007212 Electrical Permit issued 05/01/00. The permit only lists 3 fixtures, 7 outlets and 2 switches. Significantly less then the physical attributes that building currently contains. Furthermore, even though the system shows as "complete" Permit # E00007212 is still listed with the Final Issuance with an open status.

Orange County Property Appraiser link still lists the property as a single family residence with the subject building description as a FDG - F/Det Garg.

<https://www.ocpafl.org/searches/ParcelSearch.aspx> this description would not support the building as a "guest facility (accessory living quarters)." The OCPA weblink for the subject property reflects that the data contained therein has been updated on several occasions since 2004.

As you are most certainly aware (the property owner as well), Florida Building Codes and local construction ordinances require the following types of permits issued; building, electrical, gas, mechanical, plumbing and roofing. Per your communication, Winter Park has no record of permit(s) issued for the property's carport transformation into a enclosed garage on the main residence. Where is the roofing permit for its replacement after the 2004 / 2005 hurricane events? Where are the permit(s) for the central A/C equipment added to the detached shed / garage as well as the replacement to the main residence? Some of these items would even provide the required dates for data consisting of the manufacturing, sale, installation, etc. Orange County does not list permit information for these events or items.

It's somewhat challenging to arrive at the conclusion that three separate local agencies; Orange County permitting, Orange County Property Appraiser and Winter Park cannot provide conclusive evidence all permits were issued and closed satisfactory.

Mr. Wiggins, you are most likely aware that the property owner is running for Winter Park Commission Seat # 4. Thus, it is imperative that the concerns raised herein are definitively and conclusively addressed, sooner rather than later.

regards

InterestdCitizen

----- Original Message -----

On Thursday, March 7, 2019 1:37 PM, George Wiggins
<Gwiggins@cityofwinterpark.org> wrote:

To: InterestdCitizen

Following up on your inquiry, in February, I met with the property owner, and he stated the following by email and in person:

"The east half of the building (workshop) in question was grandfathered in when I bought the property in 1997. The existing building had a toilet, work sink and a shower when I bought it. The original underground plumbing is still intact.

Orange County permitted the west half in 1999, which is basically a mirror image of the east half. The entire structure was tied together under that permit. The permitted west half complied with all setback and other OC codes at that time. That permit had an underground 100-amp service to the south wall, which is original and in its original placement. All work was inspected and approved by Orange County and a CO was awarded.

Since those files are older than anything I keep, including tax records, one would have to probe Orange County records to retrieve them."

Therefore, when this property was annexed into the City in 2004, there existed a grandfathered in guest facility (accessory living quarters) which is not unusual when properties are annexed.

Also, we do not have a Certificate of Occupancy for any of the buildings on that property since those structures were built while in unincorporated Orange County.. However, we have forwarded to you the permits obtained in the City over the years since this property was annexed.

Thank you for your attention to this matter.

 <p>City of Winter Park 401 Park Ave. South Winter Park, FL. 32789 cityofwinterpark.org</p>	<p>George Wiggins Director of Bldg/Legis Affairs</p> <p>Building & Permitting Services</p> <p>407.599.3426</p>
---	---

From: George Wiggins
Sent: Tuesday, March 5, 2019 11:24 AM
To: 'InterestdCitizen' <InterestdCitizen@protonmail.com>
Cc: Keri Martin <kmartin@cityofwinterpark.org>; Theresa Dunkle <tdunkle@cityofwinterpark.org>
Subject: RE: AirBNB short term rental activity concerns within residential neighborhood

To: InterestdCitizen

On Jan 5 you sent me a message regarding advertisement of 1051 Lake Bell Dr property being advertised as an Airbnb, to which I responded on Jan 7, 7AM that you should contact Safety and Code Compliance Division to report code violation and I gave you the web site link to facilitate your inquiry. On Jan 25, Ms. Keri Martin, our City's Risk Manager who oversees Safety and Code Compliance requested my assistance in providing additional requested information concerning structures on this property. On the same day I asked Theresa Dunkle, one of our code analyst plans examiners, to forward information regarding documentation concerning permitting activity that has occurred on the property at 1051 Lake Bell Drive. That information found (fence permit)was later forwarded to you, which is included in the attached document.

In addition, we did find that a paver permit was issued for the driveway on that property, however, I did not feel it was germane to your inquiry about vertical structures on the property and the subject of your inquiry. I am attaching a copy of that paver permit for your information.

I must go to a meeting but will get back with you on information related to your inquiry later.

Since the AirBnB issue has been dealt with by our Code Compliance Division, I am not aware of any other violations on this property.

 <p>City of Winter Park 401 Park Ave. South Winter Park, FL. 32789 cityofwinterpark.org</p>	<p>George Wiggins Director of Bldg/Legis Affairs</p> <p>Building & Permitting Services</p> <p>407.599.3426</p>
--	---

From: InterestdCitizen <InterestdCitizen@protonmail.com>
Sent: Monday, March 4, 2019 10:36 PM
Subject: RE: AirBNB short term rental activity concerns within residential neighborhood

Dear Mr. Wiggins,

Its been more than two months since requesting (via multiple communications) for confirmation along with the official permit documentation / information (i.e. official permitting records, issued and closed) expected for all property improvements / modifications performed to 1051 Lake Bell Drive, Winter Park, Florida 32789 Parcel # 02-22-29-0065-03-040. The request also includes subject building described as a "detached garage" (Orange County property appraiser website - FDG - F/Det Garg) located to the rear of the property utilized as the AIRBandB "rental" which has been described as a "studio" and "cottage".

Your name was mentioned by the owner of the subject property in a circulated email communication as follows, "There are no ordinance, code, usage, permitting or any other violations per George Wiggins."

Mr. Wiggins where is the requested information including certificate of occupancy for the "studio" and/or "cottage" to function as a "rental"?

Mr. Wiggins, once again, it is respectfully requested that the information be provided post haste.

On February 21, 2019, Mike Lafferty of the Orlando Sentinel published an opinion piece titled "Fact or fake: Did a Winter Park candidate's Airbnb rentals violate city rules?"

<https://www.orlandosentinel.com/opinion/fact-or-fake/os-op-winter-park-election-fact-or-fake-20190220-story.html> Even though the opinion piece concluded as being "Mostly Fact", the article did not address that a fact check was performed on all candidates referenced therein. There was no mention within the article that a publicly available information check was also performed to confirm "facts" about this "cottage" including its permitting information (or lack thereof). Three separate local agencies / departments, Orange County Property Appraiser, Orange County Permitting including Winter Park

have yet to provide conclusive and/or definitive responses for the information requested. This article did not confirm timing thereof for the following statement, "once he learned of it, changed the ad to indicate a minimum 30-day stay was needed." When exactly did this occur? Did this occur prior to or after the candidate's recorded appearance on the July 9, 2018 Public Comments {items not on the agenda} regarding Air BandB's topic where "He asked that the Commission also consider a compromise"?

<https://cityofwinterpark.org/docs/government/city-commission/minutes/min-2018-07-09.pdf>

This article did not mention if inquiries to the relevant Winter Park department were performed regarding the AirBandB related concerns for the subject property including those noticed adjacent to either side of said property as well as those noticed within the immediate neighborhood. Perhaps the referenced ad change did not occur until after the recent concerns of the AirBandB activities were communicated to the City?

regards

InterestdCitizen

----- Original Message -----

On Wednesday, February 20, 2019 1:59 AM, InterestdCitizen <InterestdCitizen@protonmail.com> wrote:

Dear Ms. Martin,

thank you for the email communication and the attachment for the fence permit.

Dear Mr. Wiggins,

Follow up to Ms. Martin's advisory in email below dated January 31, 2109. The attachment provided by Ms. Martin for the fence permit appears to depict property status within the Plot Plan section including the main residence improvements / modifications and also lists

the detached garage located to the rear of the property utilized as the AIRBNB rental as a "studio". Please provide confirmation along with official permit documentation for the requested information (i.e. official permitting records) expected for all property improvements / modifications to 1051 Lake Bell Drive, Winter Park, Florida 32789 Parcel # 02-22-29-0065-03-040.

Three separate agencies / departments, Orange County Property Appraiser, Orange County Permitting including Winter Park have not yet provided conclusive responses to the requests for public information.

regards

InterestdCitizen

----- Original Message -----

On Thursday, January 31, 2019 1:38 PM, Keri Martin <kmartin@cityofwinterpark.org> wrote:

Good afternoon,

Attached is the only permit found by the Building Department that is responsive to your request.

I referred the balance of your email request for official documentation regarding the property improvements to George Wiggins for response.

Kind regards,

Keri

From: InterestdCitizen
<InterestdCitizen@protonmail.com>
Sent: Tuesday, January 29, 2019 6:14 AM
Subject: RE: AirBNB short term rental activity concerns within residential neighborhood

Dear Ms. Porras,

Thank you for the advisory and due diligence. Please provide confirmation for when the balance of the requested information (i.e. official permitting records) should be expected for 1051 Lake Bell Drive, Winter Park, Florida 32789 Parcel # 02-22-29-0065-03-040.

As previously requested, please provide specific website link(s) and/or official documentation which definitively confirms that all applicable permits were issued and closed to support the detached structure built or converted to a residential / rental property including its certificate of occupancy. As well as the official permitting records for all property improvements and/or modifications performed to the property over the years.

If official records do not exist for the subject property, it would then be reasonable to surmise that the detached building should not have been advertised and/or utilized as rental accommodation including within AIRBNB for the past several years. It would also be reasonable to surmise that most, if not all, of the property

improvements and/or modifications were facilitated without proper permits being issued from the respective agency.

The expectation would be that all property owners adhere to the same legal requirements and standards regardless of who they may be or may want to become in the near future. Based on the readily available public information, including the property owner's campaign information, its surprising to learn that the base knowledge of the requirements is lacking by this property. It would be reasonable to surmise that someone who was a "past Orange County Lakes Advisory Board and Past Chairman of Winter Park Lakes and Waterways Advisory Board" would understand what is required. Especially considering that the individual "has held a Florida General Contractor license for nearly 30 years and has redeveloped multiple residential and commercial properties in Florida, while never asking for variances or zoning changes."

regards

InterestdCitizen

From: InterestdCitizen <InterestdCitizen@protonmail.com>
Sent: Tuesday, April 2, 2019 5:49 PM
To: George Wiggins
Subject: RE: AirBNB short term rental activity concerns within residential neighborhood

Dear Mr Wiggins,

Its been 2 weeks since you last communicated. What is the City's solution to the concerns raised about Mr Weaver's potential ethics dilemma? The questions raised could be answered if definitive evidence was produced to confirm that all applicable permits were issued and closed for all the physical property improvements. Is it possible that because the individual has held a Florida contractor's license for so long that its appropriate to make the improvements to their own property without issuance of the proper permits?

Regards
InterestdCitizen

----- Original Message -----

On Wednesday, March 20, 2019 8:21 AM, George Wiggins <Gwiggins@cityofwinterpark.org> wrote:

I will be taking up this matter with our City Attorney for future guidance and suggestions. As I mentioned we have pulled up our records of permit activity on this property and forwarded that information to you.

 <p>City of Winter Park 401 Park Ave. South</p> <p>Winter Park, FL. 32789 cityofwinterpark.org</p>	<p>George Wiggins Director of Bldg/Legis Affairs</p> <p>Building & Permitting Services</p> <p>407.599.3426</p>
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From: InterestdCitizen <InterestdCitizen@protonmail.com>
Sent: Tuesday, March 19, 2019 1:58 PM
Subject: RE: AirBNB short term rental activity concerns within residential neighborhood

Dear Mr. Wiggins,

We have yet to receive definitive response to the requests submitted herein. The property owner has invoked your name ("There are no ordinance, code, usage, permitting or any other violations per George Wiggins.") as confirmation / support that all permits were issued and closed by the respective agency for all physical improvements, upgrades and remodeling occurring since 2004. Awareness that the statement of non-violations would not be accurate.

You are hereby requested to promptly provide the official documentation supporting the property owner's claim confirming all permits were duly issued and approved. Please do not communicate again that all of the property improvements occurred prior to being annexed by Winter Park and were subsequently grandfathered in. The "guest house" utilised as a rental unit was functioning as a storage/shed/garage after the Winter Park annexation from Orange County occurred. That vertical structure changed significantly after its annexation into a Winter Park.

Note that the following communication(s) shall be escalated to the next level(s) of City management.

Regards

InterestedCitizen

----- Original Message -----

On Monday, March 11, 2019 10:30 PM, InterestdCitizen <InterestdCitizen@protonmail.com> wrote:

Dear Mr. Wiggins,

Thank you for the response.

Considering the publicly available information provided to the various parties via the numerous communication(s), it's disappointing that confirmation of all historical permits prior to 2004 have not yet been provided. Thank you for confirming that Winter Park has not issued the permits for all of the observed physical improvements, upgrades and remodeling to the property from 2004 to the present. With all due respect, it's surprising to observe reliance on the verbal and email communications from the property owner considering that same individual has invoked your name ("There are no

ordinance, code, usage, permitting or any other violations per George Wiggins.") as confirmation that all permits were issued and closed for all of the physical improvements, upgrades and remodeling occurring to the property since to 2004. Even if there were a toilet and sink installed prior to 2004 within the "detached garage" to the east and rear of the main residence, its unlikely that it was built to function as a guest residence prior to 2004, never-the-less and more importantly (and most certainly after 2004) the building was not intended (or allowed per code) to be utilized as a "rental" property adhering to the requirements for "rental" usage (even within AirBnB). Let's not forget that the subject property is still located within a single family zoned residential area.

Previously provided data;

Orange County Permitting link

https://fasttrack.ocfl.net/OnlineServices/Permit_Building.aspx?SearchID=RES

Permit # B00005934 SHED ADDITION 10"X20" STORAGE ADDITION TO EXISTING STRUCTURE issued on 05-01-00. This clearly states in the description that it is a "SHED ADDITION..." The building is listed a 482 sqft FDG - F/Det Garg within Orange County Property Appraise weblink. It is not referenced as a "guest facility (accessory living quarters)"

Permit # E00007212 Electrical Permit issued 05/01/00. The permit only lists 3 fixtures, 7 outlets and 2 switches. Significantly less then the physical attributes that building currently contains. Furthermore, even though the system shows as "complete" Permit # E00007212 is still listed with the Final Issuance with an open status.

Orange County Property Appraiser link still lists the property as a single family residence with the subject building description as a FDG - F/Det Garg.

<https://www.ocpafl.org/searches/ParcelSearch.aspx> this description would not support the building as a "guest facility (accessory living quarters)." The OCPA weblink for the subject property reflects that the data contained therein has been updated on several occasions since 2004.

As you are most certainly aware (the property owner as well), Florida Building Codes and local construction ordinances require the following types of permits issued; building, electrical, gas, mechanical, plumbing and roofing. Per your communication, Winter Park has no record of permit(s) issued for the property's carport transformation into a enclosed garage on the main residence. Where is the roofing permit for its replacement after the 2004 / 2005 hurricane events? Where are the permit(s) for the central A/C equipment added to the detached shed / garage as well as the replacement to the main residence? Some of these items would even provide the required dates for data consisting of the manufacturing, sale, installation, etc. Orange County does not list permit information for these events or items.

It's somewhat challenging to arrive at the conclusion that three separate local agencies; Orange County permitting, Orange County Property Appraiser and Winter Park cannot provide conclusive evidence all permits were issued and closed satisfactory.

Mr. Wiggins, you are most likely aware that the property owner is running for Winter Park Commission Seat # 4. Thus, it is imperative that the concerns raised herein are definitively and conclusively addressed, sooner rather than later.

regards

InterestdCitizen

----- Original Message -----

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To: InterestdCitizen

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"The east half of the building (workshop) in question was grandfathered in when I bought the property in 1997. The existing building had a toilet, work sink and a shower when I bought it. The original underground plumbing is still intact.

Orange County permitted the west half in 1999, which is basically a mirror image of the east half. The entire structure was tied together under that permit. The permitted west half

complied with all setback and other OC codes at that time. That permit had an underground 100-amp service to the south wall, which is original and in its original placement. All work was inspected and approved by Orange County and a CO was awarded.

Since those files are older than anything I keep, including tax records, one would have to probe Orange County records to retrieve them.”

Therefore, when this property was annexed into the City in 2004, there existed a grandfathered in guest facility (accessory living quarters) which is not unusual when properties are annexed.

Also, we do not have a Certificate of Occupancy for any of the buildings on that property since those structures were built while in unincorporated Orange County.. However, we have forwarded to you the permits obtained in the City over the years since this property was annexed.

Thank you for your attention to this matter.

 <p>City of Winter Park 401 Park Ave. South Winter Park, FL. 32789 cityofwinterpark.org</p>	<p>George Wiggins Director of Bldg/Legis Affairs</p> <p>Building & Permitting Services</p> <p>407.599.3426</p>
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From: George Wiggins
Sent: Tuesday, March 5, 2019 11:24 AM

To: 'InterestdCitizen' <InterestdCitizen@protonmail.com>
Cc: Keri Martin <kmartin@cityofwinterpark.org>; Theresa Dunkle <tdunkle@cityofwinterpark.org>
Subject: RE: AirBNB short term rental activity concerns within residential neighborhood

To: InterestdCitizen

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In addition, we did find that a paver permit was issued for the driveway on that property, however, I did not feel it was germane to your inquiry about vertical structures on the property and the subject of your inquiry. I am attaching a copy of that paver permit for your information.

I must go to a meeting but will get back with you on information related to your inquiry later.

Since the AirBnB issue has been dealt with by our Code Compliance Division, I am not aware of any other violations on this property.

	George Wiggins
--	-----------------------



Director of Bldg/Legis Affairs

Building & Permitting Services

City of Winter Park
401 Park Ave. South

Winter Park, FL. 32789
cityofwinterpark.org

407.599.3426

From: InterestdCitizen <InterestdCitizen@protonmail.com>

Sent: Monday, March 4, 2019 10:36 PM

Subject: RE: AirBNB short term rental activity concerns within residential neighborhood

Dear Mr. Wiggins,

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Your name was mentioned by the owner of the subject property in a circulated email communication as follows, "There are no ordinance, code, usage, permitting or any other violations per George Wiggins."

Mr. Wiggins where is the requested information including certificate of occupancy for the "studio" and/or "cottage" to function as a "rental"?

Mr. Wiggins, once again, it is respectfully requested that the information be provided post haste.

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<https://www.orlandosentinel.com/opinion/fact-or-fake/os-op-winter-park-election-fact-or-fake-20190220-story.html> Even though the opinion piece concluded as being "Mostly Fact", the article did not address that a fact check was performed on all candidates referenced therein. There was no mention within the article that a publicly available information check was also performed to confirm "facts" about this "cottage" including its permitting information (or lack thereof). Three separate local agencies / departments, Orange County Property Appraiser, Orange County Permitting including Winter Park have yet to provide conclusive and/or definitive responses for the information requested. This article did not confirm timing thereof for the following statement, "once he learned of it, changed the ad to indicate a minimum 30-day stay was needed." When exactly did this occur? Did this occur prior to or after the candidate's recorded appearance on the July 9, 2018 Public Comments {items not on the agenda} regarding Air BandB's topic where "He asked that the Commission also consider a compromise"? <https://cityofwinterpark.org/docs/government/city-commission/minutes/min-2018-07-09.pdf>

This article did not mention if inquiries to the relevant Winter Park department were performed regarding the AirBandB related concerns for the subject property including those noticed adjacent to either side of said property as well as those noticed within the immediate neighborhood. Perhaps the referenced ad change did not occur until after the recent concerns of the AirBandB activities were communicated to the City?

regards

InterestdCitizen

----- Original Message -----

On Wednesday, February 20, 2019 1:59 AM, InterestdCitizen <InterestdCitizen@protonmail.com> wrote:

Dear Ms. Martin,

thank you for the email communication and the attachment for the fence permit.

Dear Mr. Wiggins,

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InterestdCitizen

----- Original Message -----

On Thursday, January 31, 2019 1:38 PM, Keri Martin <kmartin@cityofwinterpark.org> wrote:

Good afternoon,

Attached is the only permit found by the Building Department that is responsive to your request.

I referred the balance of your email request for official documentation regarding the property improvements to George Wiggins for response.

Kind regards,

Keri

From: InterestdCitizen
<InterestdCitizen@protonmail.com>
Sent: Tuesday, January 29, 2019 6:14 AM
Subject: RE: AirBNB short term rental activity concerns within residential neighborhood

Dear Ms. Porras,

Thank you for the advisory and due diligence. Please provide confirmation for when the balance of the requested information (i.e. official permitting records) should be expected for 1051 Lake Bell Drive, Winter Park, Florida 32789 Parcel # 02-22-29-0065-03-040.

As previously requested, please provide specific website link(s) and/or official documentation which definitively confirms that all applicable permits were issued and closed to support the detached structure built or converted to a residential / rental property including its certificate of occupancy. As well as the official permitting records for all property improvements and/or modifications

performed to the property over the years.

If official records do not exist for the subject property, it would then be reasonable to surmise that the detached building should not have been advertised and/or utilized as rental accommodation including within AIRBNB for the past several years. It would also be reasonable to surmise that most, if not all, of the property improvements and/or modifications were facilitated without proper permits being issued from the respective agency.

The expectation would be that all property owners adhere to the same legal requirements and standards regardless of who they may be or may want to become in the near future. Based on the readily available public information, including the property owner's campaign information, its surprising to learn that the base knowledge of the requirements is lacking by this property. It would be reasonable to surmise that someone who was a "past Orange County Lakes Advisory Board and Past Chairman of Winter Park Lakes and Waterways Advisory Board" would understand what is required. Especially considering that the individual "has held a Florida General Contractor license for nearly 30 years and has redeveloped multiple residential and commercial properties in Florida, while never asking for variances or zoning changes."

regards

InterestdCitizen

From: InterestdCitizen <InterestdCitizen@protonmail.com>
Sent: Friday, April 5, 2019 4:51 PM
To: George Wiggins
Subject: RE: AirBNB short term rental activity concerns within residential neighborhood

Mr Wiggins,

Considering Mr. Weaver conveys that he has been a licensed Florida Contractor for 30 years it would add to the duplicity if the improvements weren't to code. However, the questions do not necessarily pertain to whether Mr. Weaver followed code when performing all construction improvements to the property over the years. The questions(s) have been and still are, where are the all permits for the construction, electrical, mechanical, roofing, etc., improvements performed over the years? How is it that three separate agencies; Orange County property appraiser, Orange County permitting including Winter Park have not yet provided or cannot provide evidence that such permits are available on file?

The gentleman is running for election to serve as a City Commissioner on seat # 4, and was a "past Orange County Lakes Advisory Board and Past Chairman of Winter Park Lakes and Waterways Advisory Board". We are aware most of the changes/improvements to the subject property occurred after its annexation into Winter Park in 2004. Thus, we are confused, if all required permits have yet to be conclusively and definitively substantiated, how was the gentleman able to convey the following statement which is attributed to you, "There are no ordinance, code, usage, permitting or any other violations per George Wiggins."?

You should be aware that Google mapping services as well as other such technology, including those within Orange County property appraiser's web link, exist to provide historical snapshots of the property over the years. Absence of these available technologies, agencies are non-the-less required to issue and maintain applicable permitting records for all required property changes necessitating such documents.

The following are just a few structure changes/improvements requiring issuance of necessary permits;

New roofing.

Converting the one vehicle carport on the main structure into an enclosed garage.

Extending the roof line to the rear on the main structure (east side) most likely during the carport's conversion into an enclosed garage.

Converting the rear detached shed/storage/garage building into a habitable property including kitchen, bathroom /shower, central air conditioning, sleeping quarters, etc., and utilized as a rental.

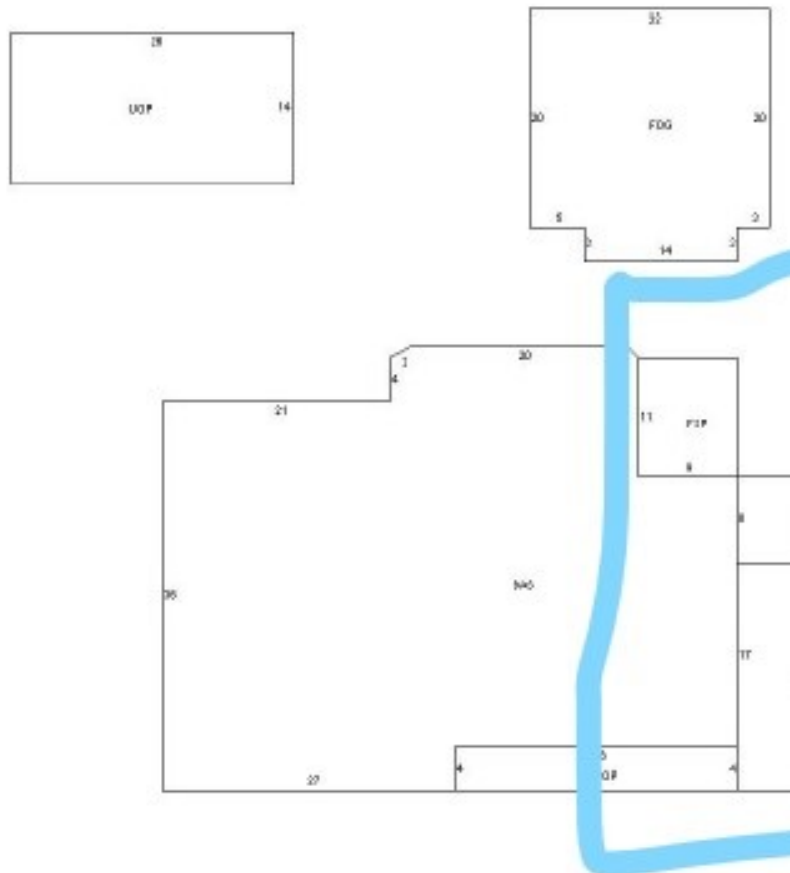
Numerous exterior improvements to the building structures, central air conditioning, under grounding of main power feed line from utility service pole to the main house, sidewalks to the side and rear of the property, second concrete driveway to the street to the west of the property, etc.

The following illustration(s) are just a few available for public consumption, to the left is available within the Orange County Property Appraiser's website. The illustration depicts the east side of the main property where the roof does not extend towards the rear of the structure. The picture to the right also comes from the Orange County Property Appraiser's website and clearly depicts the roof line extended to the rear of the building. In fact there is a clear outline which shows that this area has a newer roof line when compared to rest of the "new roof". There is also a new A/C condenser unit to the rear of the property on west side as is highlighted in the picture to the right (this unit was not visible in the 2007 picture, but is in the 2008 picture as shown herein).

Building Details - 1051 Lake Bell Dr - Building #1



Courtesy Rick Singh, Orange County Property Appraiser



Sub Area	Sqft	Value
BAS - Base Area	1855	working...
FDG - F/Det Garg	482	working...
FGR - Fin Garage	252	working...
FOP - F/Oph Prch	104	working...
FSP - F/Scr Prch	99	working...
FRT - Fin Storage	96	working...



----- Original Message -----

On Wednesday, April 3, 2019 12:39 PM, George Wiggins <Gwiggins@cityofwinterpark.org> wrote:

We are treating this resident in a similar manner as we would any citizen and it is my understanding that the property does not currently have a Zoning violation with a rental accessory structure. As with any code violation, we will follow up with all due diligence. If any unpermitted construction work was conducted then that issue with need to be resolved as well. Additionally, all appropriate action in conferring with our City Attorney has been followed.

	George Wiggins
--	-----------------------



Director of Bldg/Legis Affairs

Building & Permitting Services

City of Winter Park
401 Park Ave. South

Winter Park, FL. 32789
cityofwinterpark.org

407.599.3426

From: InterestdCitizen <InterestdCitizen@protonmail.com>

Sent: Tuesday, April 2, 2019 5:49 PM

To: George Wiggins <Gwiggins@cityofwinterpark.org>

Subject: RE: AirBNB short term rental activity concerns within residential neighborhood

Dear Mr Wiggins,

Its been 2 weeks since you last communicated. What is the City's solution to the concerns raised about Mr Weaver's potential ethics dilemma? The questions raised could be answered if definitive evidence was produced to confirm that all applicable permits were issued and closed for all the physical property improvements. Is it possible that because the individual has held a Florida contractor's license for so long that its appropriate to make the improvements to their own property without issuance of the proper permits?

Regards

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----- Original Message -----

On Wednesday, March 20, 2019 8:21 AM, George Wiggins <Gwiggins@cityofwinterpark.org> wrote:

I will be taking up this matter with our City Attorney for future guidance and suggestions. As I mentioned we have pulled up our records of permit activity on this property and forwarded that information to you.

 City of Winter Park 401 Park Ave. South Winter Park, FL. 32789 cityofwinterpark.org	George Wiggins Director of Bldg/Legis Affairs Building & Permitting Services 407.599.3426
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From: InterestdCitizen <InterestdCitizen@protonmail.com>
Sent: Tuesday, March 19, 2019 1:58 PM
Subject: RE: AirBNB short term rental activity concerns within residential neighborhood

Dear Mr. Wiggins,

We have yet to receive definitive response to the requests submitted herein. The property owner has invoked your name ("There are no ordinance, code, usage, permitting or any other violations per George Wiggins.") as confirmation / support that all permits were issued and closed by the respective agency for all physical improvements, upgrades and remodeling occurring since 2004. Awareness that the statement of non-violations would not be accurate.

You are hereby requested to promptly provide the official documentation supporting the property owner's claim confirming all permits were duly issued and approved. Please do not communicate again that all of the property improvements occurred prior to being annexed by Winter Park and were subsequently grandfathered in. The "guest house" utilised as a rental unit was functioning as a storage/shed/garage after the Winter Park annexation from Orange County occurred. That vertical structure changed significantly after its annexation into a Winter Park.

Note that the following communication(s) shall be escalated to the next level(s) of City management.

Regards

InterestedCitizen

----- Original Message -----

On Monday, March 11, 2019 10:30 PM, InterestdCitizen
<InterestdCitizen@protonmail.com> wrote:

Dear Mr. Wiggins,

Thank you for the response.

Considering the publicly available information provided to the various parties via the numerous communication(s), it's disappointing that confirmation of all historical permits prior to 2004 have not yet been provided. Thank you for confirming that Winter Park has not issued the permits for all of the observed physical improvements, upgrades and remodeling to the property from 2004 to the present. With all due respect, it's surprising to observe reliance on the verbal and email communications from the property owner considering that same individual has invoked your name ("There are no ordinance, code, usage, permitting or any other violations per George Wiggins.") as confirmation that all permits were issued and closed for all of the physical improvements, upgrades and remodeling occurring to the property since to 2004. Even if there were a toilet and sink installed prior to 2004 within the "detached garage" to the east and rear of the main residence, its unlikely that it was built to function as a guest residence prior to 2004, never-the-less and more importantly (and most certainly after 2004) the building was not intended (or allowed per code) to be utilized as a "rental" property adhering to the requirements for "rental" usage (even within AirBnB). Let's not forget that the subject property is still located within a single family zoned residential area.

Previously provided data;

Orange County Permitting link

https://fasttrack.ocfl.net/OnlineServices/Permit_Building.aspx?SearchID=RES

Permit # B00005934 SHED ADDITION 10"X20" STORAGE ADDITION TO EXISTING STRUCTURE issued on 05-01-00. This clearly states in

the description that it is a "SHED ADDITION..." The building is listed a 482 sqft FDG - F/Det Garg within Orange County Property Appraiser weblink. It is not referenced as a "guest facility (accessory living quarters)"

Permit # E00007212 Electrical Permit issued 05/01/00. The permit only lists 3 fixtures, 7 outlets and 2 switches. Significantly less than the physical attributes that building currently contains. Furthermore, even though the system shows as "complete" Permit # E00007212 is still listed with the Final Issuance with an open status.

Orange County Property Appraiser link still lists the property as a single family residence with the subject building description as a FDG - F/Det Garg. <https://www.ocpafl.org/searches/ParcelSearch.aspx> this description would not support the building as a "guest facility (accessory living quarters)." The OCPA weblink for the subject property reflects that the data contained therein has been updated on several occasions since 2004.

As you are most certainly aware (the property owner as well), Florida Building Codes and local construction ordinances require the following types of permits issued; building, electrical, gas, mechanical, plumbing and roofing. Per your communication, Winter Park has no record of permit(s) issued for the property's carport transformation into an enclosed garage on the main residence. Where is the roofing permit for its replacement after the 2004 / 2005 hurricane events? Where are the permit(s) for the central A/C equipment added to the detached shed / garage as well as the replacement to the main residence? Some of these items would even provide the required dates for data consisting of the manufacturing, sale, installation, etc. Orange County does not list permit information for these events or items.

It's somewhat challenging to arrive at the conclusion that three separate local agencies; Orange County permitting, Orange County Property Appraiser and Winter Park cannot provide conclusive evidence all permits were issued and closed satisfactory.

Mr. Wiggins, you are most likely aware that the property owner is running for Winter Park Commission Seat # 4. Thus, it is imperative that the concerns raised herein are definitively and conclusively addressed, sooner rather than later.

regards

InterestdCitizen

----- Original Message -----

On Thursday, March 7, 2019 1:37 PM, George Wiggins
<Gwiggins@cityofwinterpark.org> wrote:

To: InterestdCitizen

Following up on your inquiry, in February, I met with the property owner, and he stated the following by email and in person:

"The east half of the building (workshop) in question was grandfathered in when I bought the property in 1997. The existing building had a toilet, work sink and a shower when I bought it. The original underground plumbing is still intact.

Orange County permitted the west half in 1999, which is basically a mirror image of the east half. The entire structure was tied together under that permit. The permitted west half complied with all setback and other OC codes at that time. That permit had an underground 100-amp service to the south wall, which is original and in its original placement. All work was inspected and approved by Orange County and a CO was awarded.

Since those files are older than anything I keep, including tax records, one would have to probe Orange County records to retrieve them."

Therefore, when this property was annexed into the City in 2004, there existed a grandfathered in guest facility (accessory living quarters) which is not unusual when properties are annexed.

Also, we do not have a Certificate of Occupancy for any of the buildings on that property since those structures were built while in unincorporated Orange County.. However, we have forwarded to you the permits obtained in the City over the years since this property was annexed.

Thank you for your attention to this matter.

 <p>City of Winter Park 401 Park Ave. South Winter Park, FL. 32789 cityofwinterpark.org</p>	<p>George Wiggins Director of Bldg/Legis Affairs</p> <p>Building & Permitting Services</p> <p>407.599.3426</p>
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From: George Wiggins
Sent: Tuesday, March 5, 2019 11:24 AM
To: 'InterestdCitizen'
<InterestdCitizen@protonmail.com>
Cc: Keri Martin <kmartin@cityofwinterpark.org>;
Theresa Dunkle <tdunkle@cityofwinterpark.org>
Subject: RE: AirBNB short term rental activity concerns within residential neighborhood

To: InterestdCitizen

On Jan 5 you sent me a message regarding advertisement of 1051 Lake Bell Dr property being advertised as an Airbnb, to which I responded on Jan 7, 7AM that you should contact Safety and Code Compliance Division to report code violation and I gave you the web site link to facilitate your inquiry. On Jan 25, Ms. Keri Martin, our City's Risk Manager who oversees Safety and Code Compliance requested my assistance in providing additional requested information concerning structures on this property. On the same day I asked Theresa Dunkle, one of our code analyst plans examiners, to forward information regarding documentation concerning permitting activity that has occurred on the property at 1051 Lake Bell Drive. That information found (fence permit) was later forwarded to you, which is included in the attached document.

In addition, we did find that a paver permit was issued for the driveway on that property, however, I did not feel it was germane to your inquiry about vertical structures on the property and the subject of your inquiry. I am attaching a copy of that paver permit for your information.

I must go to a meeting but will get back with you on information related to your inquiry later.

Since the AirBnB issue has been dealt with by our Code Compliance Division, I am not aware of any other violations on this property.

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 <p data-bbox="516 352 727 405">City of Winter Park 401 Park Ave. South</p> <p data-bbox="505 436 738 489">Winter Park, FL. 32789 cityofwinterpark.org</p>	<p data-bbox="862 100 1115 132">George Wiggins</p> <p data-bbox="821 138 1115 165">Director of Bldg/Legis Affairs</p> <p data-bbox="808 247 1115 275">Building & Permitting Services</p> <p data-bbox="967 436 1115 464">407.599.3426</p>
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From: InterestdCitizen
 <InterestdCitizen@protonmail.com>
Sent: Monday, March 4, 2019 10:36 PM
Subject: RE: AirBNB short term rental activity concerns within residential neighborhood

Dear Mr. Wiggins,

Its been more than two months since requesting (via multiple communications) for confirmation along with the official permit documentation / information (i.e. official permitting records, issued and closed) expected for all property improvements / modifications performed to 1051 Lake Bell Drive, Winter Park, Florida 32789 Parcel # 02-22-29-0065-03-040. The request also includes subject building described as a "detached garage" (Orange County property appraiser website - FDG - F/Det Garg) located to the rear of the property utilized as the AIRBandB "rental" which has been described as a "studio" and "cottage".

Your name was mentioned by the owner of the subject property in a circulated email communication as follows, "There are no ordinance, code, usage, permitting or any other violations per George Wiggins."

Mr. Wiggins where is the requested information including certificate of occupancy for the "studio" and/or "cottage" to function as a "rental"?

Mr. Wiggins, once again, it is respectfully requested that the information be provided post haste.

On February 21, 2019, Mike Lafferty of the Orlando Sentinel published an opinion piece titled "Fact or fake: Did a Winter Park candidate's Airbnb rentals violate city rules?" <https://www.orlandosentinel.com/opinion/fact-or-fake/os-op-winter-park-election-fact-or-fake-20190220-story.html> Even though the opinion piece concluded as being "Mostly Fact", the article did not address that a fact check was performed on all candidates referenced therein. There was no mention within the article that a publicly available information check was also performed to confirm "facts" about this "cottage" including its permitting information (or lack thereof). Three separate local agencies / departments, Orange County Property Appraiser, Orange County Permitting including Winter Park have yet to provide conclusive and/or definitive responses for the information requested. This article did not confirm timing thereof for the following statement, "once he learned of it, changed the ad to indicate a minimum 30-day stay was needed." When exactly did this occur? Did this occur prior to or after the candidate's recorded appearance on the July 9, 2018 Public Comments {items not on the agenda} regarding Air BandB's topic where "He asked that the Commission also consider a compromise"? <https://cityofwinterpark.org/docs/government/city-commission/minutes/min-2018-07-09.pdf>

This article did not mention if inquiries to the relevant Winter Park department were performed regarding the AirBandB related concerns for the subject property including those noticed adjacent to either side of said property as well as those noticed within the immediate neighborhood. Perhaps the referenced ad change did not occur until after the recent concerns of the AirBandB activities were communicated to the City?

regards

InterestdCitizen

----- Original Message -----

On Wednesday, February 20, 2019 1:59 AM,
InterestdCitizen <InterestdCitizen@protonmail.com>
wrote:

Dear Ms. Martin,

thank you for the email communication
and the attachment for the fence
permit.

Dear Mr. Wiggins,

Follow up to Ms. Martin's advisory in
email below dated January 31, 2109.
The attachment provided by Ms. Martin
for the fence permit appears to depict
property status within the Plot Plan
section including the main residence
improvements / modifications and also
lists the detached garage located to the
rear of the property utilized as the
AIRBNB rental as a "studio". Please
provide confirmation along with official
permit documentation for the
requested information (i.e. official
permitting records) expected for all
property improvements / modifications
to 1051 Lake Bell Drive, Winter Park,
Florida 32789 Parcel # 02-22-29-
0065-03-040.

Three separate agencies / departments,
Orange County Property Appraiser,
Orange County Permitting including
Winter Park have not yet provided
conclusive responses to the requests for
public information.

regards

InterestdCitizen

----- Original Message -----

On Thursday, January 31, 2019 1:38 PM,
Keri Martin
<kmartin@cityofwinterpark.org> wrote:

Good afternoon,

Attached is the only
permit found by the
Building Department
that is responsive to
your request.

I referred the balance
of your email request
for official
documentation
regarding the property
improvements to
George Wiggins for
response.

Kind regards,

Keri

From: InterestdCitizen
<InterestdCitizen@protonmail.com>
Sent: Tuesday, January
29, 2019 6:14 AM
Subject: RE: AirBNB

short term rental
activity concerns within
residential
neighborhood

Dear Ms. Porras,

Thank you for the
advisory and due
diligence. Please
provide confirmation
for when the balance of
the requested
information (i.e. official
permitting records)
should be expected
for 1051 Lake Bell
Drive, Winter Park,
Florida 32789 Parcel #
02-22-29-0065-03-040.

As previously
requested, please
provide specific
website link(s) and/or
official documentation
which definitively
confirms that all
applicable permits
were issued and
closed to support the
detached structure
built or converted to a
residential / rental
property including its
certificate of
occupancy. As well as
the official permitting
records for all property
improvements and/or
modifications
performed to the
property over the
years.

If official records do
not exist for the subject

property, it would then be reasonable to surmise that the detached building should not have been advertised and/or utilized as rental accommodation including within AIRBNB for the past several years. It would also be reasonable to surmise that most, if not all, of the property improvements and/or modifications were facilitated without proper permits being issued from the respective agency.

The expectation would be that all property owners adhere to the same legal requirements and standards regardless of who they may be or may want to become in the near future. Based on the readily available public information, including the property owner's campaign information, its surprising to learn that the base knowledge of the requirements is lacking by this property. It would be reasonable to surmise that someone who was a "past Orange County Lakes Advisory Board and Past Chairman of Winter Park Lakes and Waterways Advisory Board" would understand what is required. Especially considering that the individual "has held a Florida General Contractor license for

nearly 30 years and has redeveloped multiple residential and commercial properties in Florida, while never asking for variances or zoning changes."

regards

InterestdCitizen

From: InterestdCitizen <InterestdCitizen@protonmail.com>
Sent: Tuesday, April 9, 2019 9:01 PM
Subject: Fw: RE: AirBNB short term rental activity concerns within residential neighborhood

Isn't a candidate running for public office required to abide by the same rules everyone else has too? How does the individual expect citizens being represented to follow rules that the candidate has willfully neglected to do?

----- Original Message ---|---

On Sunday, April 7, 2019 3:33 PM, Geo

In response to your inquiry, let me assure you that actions regarding this matter are being taken in the same manner as we would follow with any citizen and in accordance with the advice of our City Attorney.

With regard to the statement attributed to me: "There are no ordinance, code, usage, permitting or any other violations per George Wiggins;" I have never made such statement with regard to the subject property that you are addressing.

As with all matters under review with regard to building or zoning violations, it is my intent to fairly and accurately enforce the codes and ordinances of the City to the greatest extent possible.

Thank you for your comments and observations made on this matter.

Respectfully,

George Wiggins



City of Winter Park
401 Park Ave. South

Winter Park, FL. 32789
cityofwinterpark.org

407.599.3426

From: InterestdCitizen <InterestdCitizen@protonmail.com>
Sent: Friday, April 5, 2019 4:51 PM
To: George Wiggins <Gwiggins@cityofwinterpark.org>
Subject: RE: AirBNB short term rental activity concerns within residential neighborhood

Mr Wiggins,

Considering Mr. Weaver conveys that he has been a licensed Florida Contractor for 30 years it would add to the duplicity if the improvements weren't to code. However, the questions do not necessarily pertain to whether Mr. Weaver followed code when performing all construction improvements to the property over the years. The questions(s) have been and still are, where are the all permits for the construction, electrical, mechanical, roofing, etc., improvements performed over the years? How is it that three separate agencies; Orange County property appraiser, Orange County permitting including Winter Park have not yet provided or cannot provide evidence that such permits are available on file?

The gentleman is running for election to serve as a City Commissioner on seat # 4, and was a "past Orange County Lakes Advisory Board and Past Chairman of Winter Park Lakes and Waterways Advisory Board". We are aware most of the changes/improvements to the subject property occurred after its annexation into Winter Park in 2004. Thus, we are confused, if all required permits have yet to be conclusively and definitively substantiated, how was the gentleman able to convey the following statement which is attributed to you, "There are no ordinance, code, usage, permitting or any other violations per George Wiggins."?

You should be aware that Google mapping services as well as other such technology, including those within Orange County property appraiser's web link, exist to provide historical snapshots of the property over the years. Absence of these available technologies, agencies are non-the-less required to issue and maintain applicable permitting records for all required property changes necessitating such documents.

The following are just a few structure changes/improvements requiring issuance of necessary permits;

New roofing.

Converting the one vehicle carport on the main structure into an enclosed garage.

Extending the roof line to the rear on the main structure (east side) most likely during the carport's conversion into an enclosed garage.

Converting the rear detached shed/storage/garage building into a habitable property including kitchen, bathroom /shower, central air conditioning, sleeping quarters, etc., and utilized as a rental.

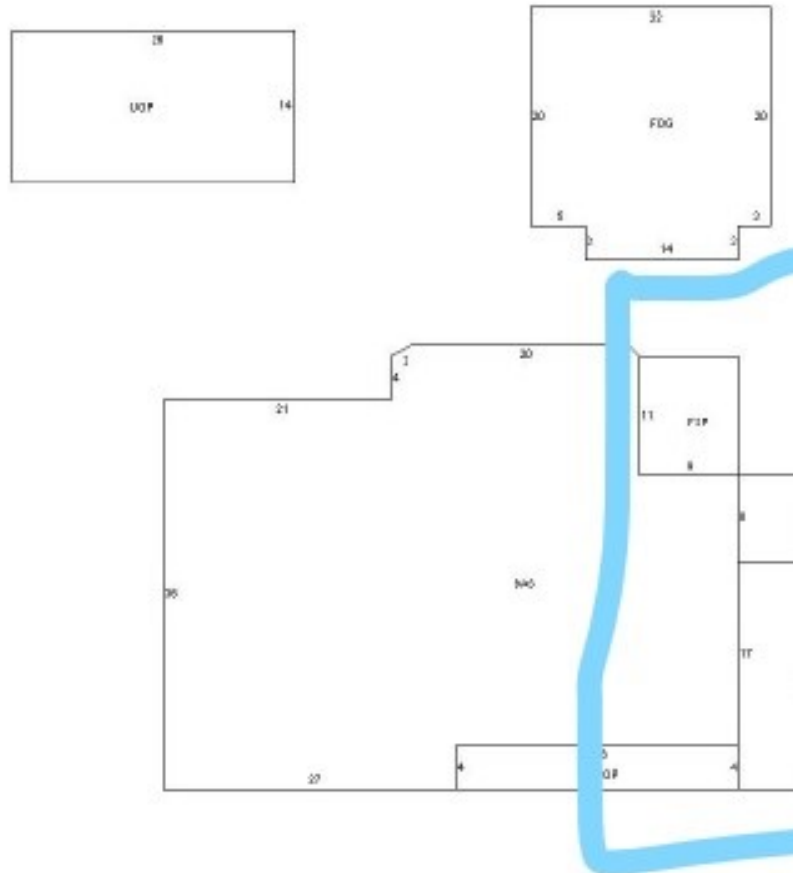
Numerous exterior improvements to the building structures, central air conditioning, under grounding of main power feed line from utility service pole to the main house, sidewalks to the side and rear of the property, second concrete driveway to the street to the west of the property, etc.

The following illustration(s) are just a few available for public consumption, to the left is available within the Orange County Property Appraiser's website. The illustration depicts the east side of the main property where the roof does not extend towards the rear of the structure. The picture to the right also comes from the Orange County Property Appraiser's website and clearly depicts the roof line extended to the rear of the building. In fact there is a clear outline which shows that this area has a newer roof line when compared to rest of the "new roof". There is also a new A/C condenser unit to the rear of the property on west side as is highlighted in the picture to the right (this unit was not visible in the 2007 picture, but is in the 2008 picture as shown herein).

Building Details - 1051 Lake Bell Dr - Building #1



Courtesy Rick Singh, Orange County Property Appraiser



Sub Area	Sqft	Value
BAS - Base Area	1855	working...
FDG - F/Det Garg	482	working...
FGR - Fin Garage	252	working...
FOP - F/Oph Prch	104	working...
FSP - F/Scr Prch	99	working...
FRT - Fin Storrs	96	working...



----- Original Message -----

On Wednesday, April 3, 2019 12:39 PM, George Wiggins <Gwiggins@cityofwinterpark.org> wrote:

We are treating this resident in a similar manner as we would any citizen and it is my understanding that the property does not currently have a Zoning violation with a rental accessory structure. As with any code violation, we will follow up with all due diligence. If any unpermitted construction work was conducted then that issue with need to be resolved as well. Additionally, all appropriate action in conferring with our City Attorney has been followed.

 City of Winter Park 401 Park Ave. South Winter Park, FL. 32789 cityofwinterpark.org	George Wiggins Director of Bldg/Legis Affairs Building & Permitting Services 407.599.3426
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From: InterestdCitizen <InterestdCitizen@protonmail.com>
Sent: Tuesday, April 2, 2019 5:49 PM
To: George Wiggins <Gwiggins@cityofwinterpark.org>
Subject: RE: AirBNB short term rental activity concerns within residential neighborhood

Dear Mr Wiggins,

Its been 2 weeks since you last communicated. What is the City's solution to the concerns raised about Mr Weaver's potential ethics dilemma? The questions raised could be answered if definitive evidence was produced to confirm that all applicable permits were issued and closed for all the physical property improvements. Is it possible that because the individual has held a Florida contractor's license for so long that its appropriate to make the improvements to their own property without issuance of the proper permits?

Regards

InterestdCitizen

----- Original Message -----

On Wednesday, March 20, 2019 8:21 AM, George Wiggins <Gwiggins@cityofwinterpark.org> wrote:

From: InterestdCitizen <InterestdCitizen@protonmail.com>
Sent: Friday, May 24, 2019 12:52 PM
To: George Wiggins
Cc: citymanager@cityofwinterpark.org; sleary@cityofwinterpark.org; Keri Martin
Subject: RE: AirBNB short term rental activity concerns within residential neighborhood

Mr. Wiggins,

Thank you for the follow up response confirming statement(s) attributed to you by Mr. Weaver are inaccurate.

Did Winter Park recently change the short-term (AIRBNB) rental ordinances and rules? Please advise that such change(s) to the City ordinances have not occurred. We are adamantly opposed to short-term rental activity within single-family residential neighborhoods.

Concerns are once again raised as the previously reported AirBNB activities continues unabated on Lake Bell Drive. Two of the previously reported properties, located at 1051 and 1045 Lake Bell Drive, are listed on AirBNB with non-owner occupants currently on premises. Based on the recent reviews contained within the AirBNB advertisement links which follow, the activity appears to have continued since you and Ms. Martin advised that City personnel addressed the issue with the respective property owners.

https://www.airbnb.com/rooms/14711105?location=Winter%20Park%20florida&adults=1&source_impression_id=p3_1558570702_RY7p%2F7haS8FrDRk0&guests=1&sl_alternate_dates_exclusion=true

https://www.airbnb.com/rooms/11086620?location=Winter%20Park%20florida&adults=1&children=0&checkin=&checkout=&source_impression_id=p3_1558568451_dVLWKEPVLRUAbLNs

Furthermore, Mr. Weaver has not refrained from utilizing the detached garage/storage structure as a rental unit on AIRBNB after concerns of its continued usage as such were raised with the City last year. In fact, the individual continued to use the premises for short-term AIRBNB rental activities after speaking in front of the City Commission on July 9, 2018 requesting consideration for a compromise to allow short-term rentals for those who are homestead on their homes. Refer to Public Comments {items not on the agenda} regarding Air BandB's topic where "He asked that the Commission also consider a compromise." <https://cityofwinterpark.org/docs/government/city-commission/minutes/min-2018-07-09.pdf>

Would the City kindly reinforce to the property owner to refrain from utilizing non-permitted structure(s) as rental unit(s) and abide by City rules? We adamantly protest short-term rental activity in single-family residential neighborhoods completely unsuitable for such business related activities and contrary to local ordinances and zoning. If an individual aspires to own a motel business they can certainly do so at locations elsewhere which are designated for such activities.

Recap of prior communications, official documentation has yet to be produced for the numerous property and structure improvements/modifications at 1051 Lake Bell Drive to conclusively and definitively substantiate all required permits were pulled and completed over the years. You previously communicated that Winter Park does not have the records to support all of observed improvements. You also expressed that that such activity would be considered as "grandfathered in since the the owner communicated to you that the structural improvements occurred while the property was still within unincorporated Orange County. Once again, we respectfully dispute that communicated statement and without the proper documentation to support the observed property improvements, we remain skeptical. Orange County does not appear to have the official records to substantial the structure improvements on the property. As previously communicated, many of the observed property improvements occurred well after annexation into Winter Park. We are also cognizant that many residential items and building materials require manufacturers' specifications to be readily available which are utilized to meet local building code(s) as well

as for traceability purposes. Mapping services as well as other such technology, including those within the City of Winter Park, Orange County and Orange County property appraiser's web link, exist to provide historical snapshots of the property over the years. Regardless of the available technologies, government agencies are required to issue and maintain applicable official permitting records for all required property changes necessitating such documents.

Utilizing readily available public information, including the property owner's political campaign information, it is surprising that basic knowledge of the City's ordinance, permitting and zoning requirements would be so lacking by the property owner. Would it not be reasonable to surmise that a "past Orange County Lakes Advisory Board and Past Chairman of Winter Park Lakes and Waterways Advisory Board" would be well-versed with requirements? Particularly when considering that the individual states the following; "has held a Florida General Contractor license for nearly 30 years and has redeveloped multiple residential and commercial properties in Florida, while never asking for variances or zoning changes."

In summary, questions as follows;

Where are all the required permit(s), official documentation with all applicable signatures, stamps and approvals required from each respective agency of record at the time of the noted improvements?

Did the current owner of the property or applicable licensed contractor/professional pull required permits prior to the electrical, mechanical, structural changes?

Has the current owner of 1051 Lake Bell Drive historically utilized real property as AIRBNB or otherwise rental premises which has not been permitted for such activities?

Is the current owner of 1051 Lake Bell Drive continuing to utilize the detached garage/storage structure as rental structure ("cottage")?

What corrective action(s) is the City pursuing to remedy the situation described herein?

Has the City provided a variance to the current property owner allowing the referenced "cottage" structure to be utilized as a rental unit?

regards

Concerned and InterestdCitizen

----- Original Message -----

On Sunday, April 7, 2019 7:33 PM, George Wiggins <Gwiggins@cityofwinterpark.org> wrote:

In response to your inquiry, let me assure you that actions regarding this matter are being taken in the same manner as we would follow with any citizen and in accordance with the advice of our City Attorney.

With regard to the statement attributed to me: "There are no ordinance, code, usage, permitting or any other violations per George Wiggins;" I have never made such statement with regard to the subject property that you are addressing.

As with all matters under review with regard to building or zoning violations, it is my intent to fairly and accurately enforce the codes and ordinances of the City to the greatest extent possible.

Thank you for your comments and observations made on this matter.

Respectfully,

George Wiggins

 <p>City of Winter Park 401 Park Ave. South Winter Park, FL. 32789 cityofwinterpark.org</p>	<p>George Wiggins Director of Bldg/Legis Affairs</p> <p>Building & Permitting Services</p> <p>407.599.3426</p>
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From: InterestdCitizen <InterestdCitizen@protonmail.com>

Sent: Friday, April 5, 2019 4:51 PM

To: George Wiggins <Gwiggins@cityofwinterpark.org>

Subject: RE: AirBNB short term rental activity concerns within residential neighborhood

Mr Wiggins,

Considering Mr. Weaver conveys that he has been a licensed Florida Contractor for 30 years it would add to the duplicity if the improvements weren't to code. However, the questions do not necessarily pertain to whether Mr. Weaver followed code when performing all construction improvements to the property over the years. The questions(s) have been and still are, where are the all permits for the construction, electrical, mechanical, roofing, etc., improvements performed over the years? How is it that three separate agencies; Orange County property appraiser, Orange County permitting including Winter Park have not yet provided or cannot provide evidence that such permits are available on file?

The gentleman is running for election to serve as a City Commissioner on seat # 4, and was a "past Orange County Lakes Advisory Board and Past Chairman of Winter Park Lakes and Waterways Advisory Board". We are aware most of the changes/improvements to the subject property occurred after its annexation into Winter Park in 2004. Thus, we are confused, if all required permits have yet to be conclusively and definitively substantiated, how was the gentleman able to convey the following

statement which is attributed to you, "There are no ordinance, code, usage, permitting or any other violations per George Wiggins."?

You should be aware that Google mapping services as well as other such technology, including those within Orange County property appraiser's web link, exist to provide historical snapshots of the property over the years. Absence of these available technologies, agencies are non-the-less required to issue and maintain applicable permitting records for all required property changes necessitating such documents.

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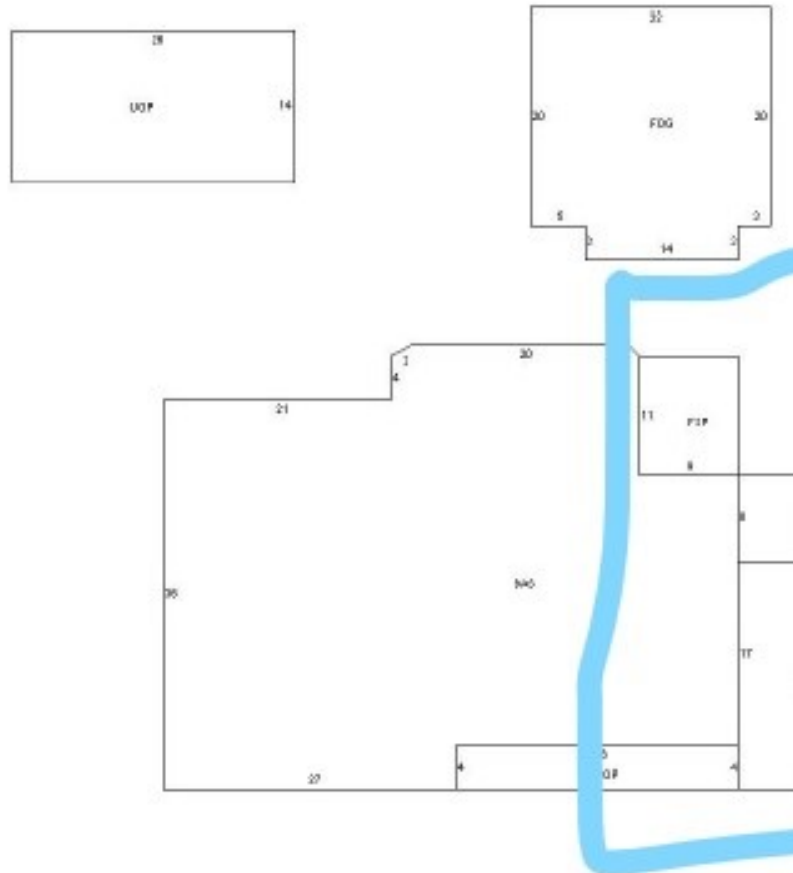
Numerous exterior improvements to the building structures, central air conditioning, under grounding of main power feed line from utility service pole to the main house, sidewalks to the side and rear of the property, second concrete driveway to the street to the west of the property, etc.

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Building Details - 1051 Lake Bell Dr - Building #1



Courtesy Rick Singh, Orange County Property Appraiser



Sub Area	Sqft	Value
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FSP - F/Scr Prch	99	working...
FRT - Fin Storrs	96	working...



----- Original Message -----

On Wednesday, April 3, 2019 12:39 PM, George Wiggins <Gwiggins@cityofwinterpark.org> wrote:

We are treating this resident in a similar manner as we would any citizen and it is my understanding that the property does not currently have a Zoning violation with a rental accessory structure. As with any code violation, we will follow up with all due diligence. If any unpermitted construction work was conducted then that issue with need to be resolved as well. Additionally, all appropriate action in conferring with our City Attorney has been followed.

peterjweldon@outlook.com

From: InterestdCitizen <InterestdCitizen@protonmail.com>
Sent: Wednesday, June 12, 2019 10:39 PM
To: George Wiggins
Cc: citymanager@cityofwinterpark.org; sleary@cityofwinterpark.org; Keri Martin
Subject: RE: AirBNB short term rental activity concerns within residential neighborhood

Dear Mr. Wiggins and Ms. Martin,

We received out of office notifications from both of you when follow up communication was sent on May 24, 2019.

What is the status for the request(s) of the identified issues herein?

Note that rental activity continues unabated to-date at the two single family zoned residential properties previously identified (1051 and 1045 Lake Bell Drive). Occupant activity (non-resident foreign tagged vehicle(s)) continues at 1051 Lake Bell Drive in the non-permitted detached garage structure in question even though it appears that Mr Weaver has (once again) removed the AirBnB rental advertisement from the website. Furthermore, we are all cognizant that insufficient evidence exists or has yet to be provided which definitively confirms that the identified property / structures located at 1051 Lake Bell Drive were properly permitted for such occupancy or rental activity as well as to support the multitude of horizontal and vertical structural improvements occurring over the years. Unless we are mistaken or a "special" variance was obtained by Mr. Weaver, the neighborhood is still zoned Single Family Residence.

Its problematic when some citizens/residents may repeatably decline to follow rules we are supposed to adhere with, however its especially concerning when the individual doing so happens to be a "public representative."

Please address to permanently halt the identified issues / rental activities.

regards
Concerned and InterestdCitizen

----- Original Message -----

On Friday, May 24, 2019 4:52 PM, InterestdCitizen <InterestdCitizen@protonmail.com> wrote:

Mr. Wiggins,

Thank you for the follow up response confirming statement(s) attributed to you by Mr. Weaver are inaccurate.

Did Winter Park recently change the short-term (AIRBNB) rental ordinances and rules? Please advise that such change(s) to the City ordinances have not occurred. We are adamantly opposed to short-term rental activity within single-family residential neighborhoods.

Concerns are once again raised as the previously reported AirBNB activities continues unabated on Lake Bell Drive. Two of the previously reported properties, located at 1051 and 1045 Lake Bell Drive, are listed on AirBNB with non-owner occupants currently on premises. Based on the recent reviews contained within the AirBNB advertisement links which follow, the activity appears to have continued

since you and Ms. Martin advised that City personnel addressed the issue with the respective property owners.

https://www.airbnb.com/rooms/14711105?location=Winter%20Park%20florida&adults=1&source_impression_id=p3_1558570702_RY7p%2F7haS8FrDRk0&guests=1&sl_alternate_dates_exclusion=true

https://www.airbnb.com/rooms/11086620?location=Winter%20Park%20florida&adults=1&children=0&checkin=&checkout=&source_impression_id=p3_1558568451_dVLWKEPVLRUAbLNs

Furthermore, Mr. Weaver has not refrained from utilizing the detached garage/storage structure as a rental unit on AIRBNB after concerns of its continued usage as such were raised with the City last year. In fact, the individual continued to use the premises for short-term AIRBNB rental activities after speaking in front of the City Commission on July 9, 2018 requesting consideration for a compromise to allow short-term rentals for those who are homestead on their homes. Refer to Public Comments {items not on the agenda} regarding Air BandB's topic where "He asked that the Commission also consider a compromise." <https://cityofwinterpark.org/docs/government/city-commission/minutes/min-2018-07-09.pdf>

Would the City kindly reinforce to the property owner to refrain from utilizing non-permitted structure(s) as rental unit(s) and abide by City rules? We adamantly protest short-term rental activity in single-family residential neighborhoods completely unsuitable for such business related activities and contrary to local ordinances and zoning. If an individual aspires to own a motel business they can certainly do so at locations elsewhere which are designated for such activities.

Recap of prior communications, official documentation has yet to be produced for the numerous property and structure improvements/modifications at 1051 Lake Bell Drive to conclusively and definitively substantiate all required permits were pulled and completed over the years. You previously communicated that Winter Park does not have the records to support all of observed improvements. You also expressed that that such activity would be considered as "grandfathered in since the the owner communicated to you that the structural improvements occurred while the property was still within unincorporated Orange County. Once again, we respectfully dispute that communicated statement and without the proper documentation to support the observed property improvements, we remain skeptical. Orange County does not appear to have the official records to substantiate the structure improvements on the property. As previously communicated, many of the observed property improvements occurred well after annexation into Winter Park. We are also cognizant that many residential items and building materials require manufacturers' specifications to be readily available which are utilized to meet local building code(s) as well as for traceability purposes. Mapping services as well as other such technology, including those within the City of Winter Park, Orange County and Orange County property appraiser's web link, exist to provide historical snapshots of the property over the years. Regardless of the available technologies, government agencies are required to issue and maintain applicable official permitting records for all required property changes necessitating such documents.

Utilizing readily available public information, including the property owner's political campaign information, it is surprising that basic knowledge of the City's ordinance, permitting and zoning requirements would be so lacking by the property owner. Would it not be reasonable to surmise that a "past Orange County Lakes Advisory Board and Past Chairman of Winter Park Lakes and Waterways Advisory Board" would be well-versed with requirements? Particularly when considering that the individual states the following; "has held a Florida General Contractor license for nearly 30 years and has redeveloped multiple residential and commercial properties in Florida, while never asking for variances or zoning changes."

In summary, questions as follows;

Where are all the required permit(s), official documentation with all applicable signatures, stamps and approvals required from each respective agency of record at the time of the noted improvements?

Did the current owner of the property or applicable licensed contractor/professional pull required permits prior to the electrical, mechanical, structural changes?

Has the current owner of 1051 Lake Bell Drive historically utilized real property as AIRBNB or otherwise rental premises which has not been permitted for such activities?

Is the current owner of 1051 Lake Bell Drive continuing to utilize the detached garage/storage structure as rental structure ("cottage")?

What corrective action(s) is the City pursuing to remedy the situation described herein?

Has the City provided a variance to the current property owner allowing the referenced "cottage" structure to be utilized as a rental unit?

regards

Concerned and InterestdCitizen

----- Original Message -----

On Sunday, April 7, 2019 7:33 PM, George Wiggins <Gwiggins@cityofwinterpark.org> wrote:

In response to your inquiry, let me assure you that actions regarding this matter are being taken in the same manner as we would follow with any citizen and in accordance with the advice of our City Attorney.

With regard to the statement attributed to me: "There are no ordinance, code, usage, permitting or any other violations per George Wiggins;" I have never made such statement with regard to the subject property that you are addressing.

As with all matters under review with regard to building or zoning violations, it is my intent to fairly and accurately enforce the codes and ordinances of the City to the greatest extent possible.

Thank you for your comments and observations made on this matter.

Respectfully,

George Wiggins

	George Wiggins
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 <p>City of Winter Park 401 Park Ave. South Winter Park, FL. 32789 cityofwinterpark.org</p>	<p>Director of Bldg/Legis Affairs</p> <p>Building & Permitting Services</p> <p>407.599.3426</p>
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From: InterestdCitizen <InterestdCitizen@protonmail.com>
Sent: Friday, April 5, 2019 4:51 PM
To: George Wiggins <Gwiggins@cityofwinterpark.org>
Subject: RE: AirBNB short term rental activity concerns within residential neighborhood

Mr Wiggins,

Considering Mr. Weaver conveys that he has been a licensed Florida Contractor for 30 years it would add to the duplicity if the improvements weren't to code. However, the questions do not necessarily pertain to whether Mr. Weaver followed code when performing all construction improvements to the property over the years. The questions(s) have been and still are, where are the all permits for the construction, electrical, mechanical, roofing, etc., improvements performed over the years? How is it that three separate agencies; Orange County property appraiser, Orange County permitting including Winter Park have not yet provided or cannot provide evidence that such permits are available on file?

The gentleman is running for election to serve as a City Commissioner on seat # 4, and was a "past Orange County Lakes Advisory Board and Past Chairman of Winter Park Lakes and Waterways Advisory Board". We are aware most of the changes/improvements to the subject property occurred after its annexation into Winter Park in 2004. Thus, we are confused, if all required permits have yet to be conclusively and definitively substantiated, how was the gentleman able to convey the following statement which is attributed to you, "There are no ordinance, code, usage, permitting or any other violations per George Wiggins."?

You should be aware that Google mapping services as well as other such technology, including those within Orange County property appraiser's web link, exist to provide

historical snapshots of the property over the years. Absence of these available technologies, agencies are non-the-less required to issue and maintain applicable permitting records for all required property changes necessitating such documents.

The following are just a few structure changes/improvements requiring issuance of necessary permits;

New roofing.

Converting the one vehicle carport on the main structure into an enclosed garage.

Extending the roof line to the rear on the main structure (east side) most likely during the carport's conversion into an enclosed garage.

Converting the rear detached shed/storage/garage building into a habitable property including kitchen, bathroom /shower, central air conditioning, sleeping quarters, etc., and utilized as a rental.

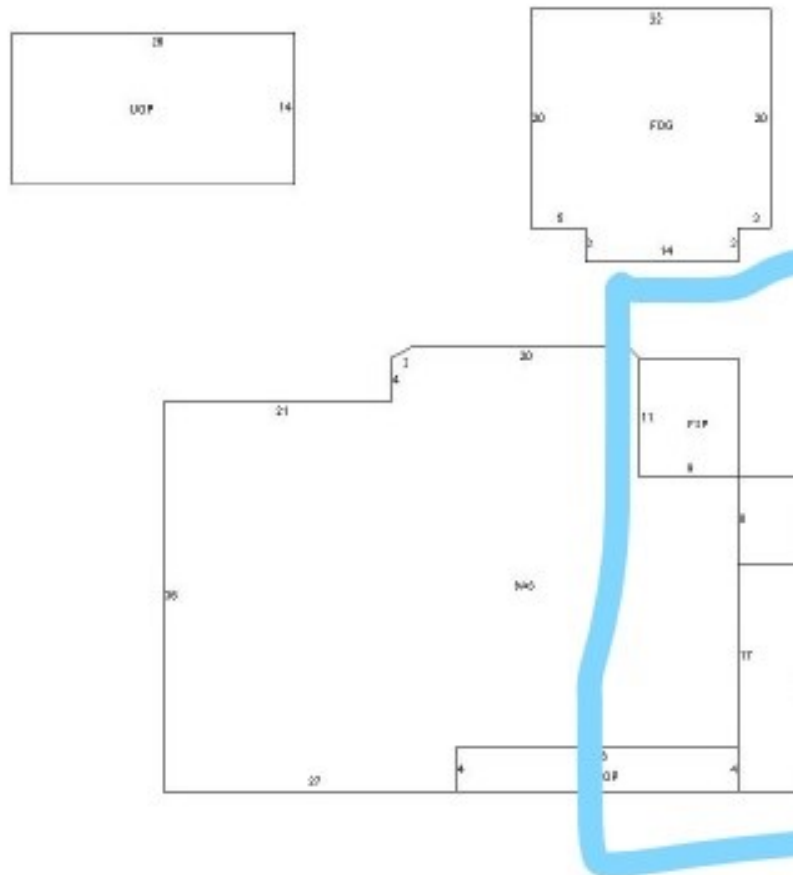
Numerous exterior improvements to the building structures, central air conditioning, under grounding of main power feed line from utility service pole to the main house, sidewalks to the side and rear of the property, second concrete driveway to the street to the west of the property, etc.

The following illustration(s) are just a few available for public consumption, to the left is available within the Orange County Property Appraiser's website. The illustration depicts the east side of the main property where the roof does not extend towards the rear of the structure. The picture to the right also comes from the Orange County Property Appraiser's website and clearly depicts the roof line extended to the rear of the building. In fact there is a clear outline which shows that this area has a newer roof line when compared to rest of the "new roof". There is also a new A/C condenser unit to the rear of the property on west side as is highlighted in the picture to the right (this unit was not visible in the 2007 picture, but is in the 2008 picture as shown herein).

Building Details - 1051 Lake Bell Dr - Building #1



Courtesy Rick Singh, Orange County Property Appraiser



Sub Area	Sqft	Value
BAS - Base Area	1855	working...
FDG - F/Det Garg	482	working...
FGR - FIn Garage	252	working...
FOP - F/Oph Prch	104	working...
FSP - F/Scr Prch	99	working...
FRT - Fin Storrs	96	working...



----- Original Message -----

On Wednesday, April 3, 2019 12:39 PM, George Wiggins
<Gwiggins@cityofwinterpark.org> wrote:

We are treating this resident in a similar manner as we would any citizen and it is my understanding that the property does not currently have a Zoning violation with a rental accessory structure. As with any code violation, we will follow up with all due diligence. If any unpermitted construction work was conducted then that issue with

peterjweldon@outlook.com

From: InterestdCitizen <InterestdCitizen@protonmail.com>
Sent: Wednesday, June 26, 2019 10:58 PM
To: George Wiggins
Cc: CityManager; Steven Leary; Keri Martin; Randy Knight
Subject: RE: AirBNB short term rental activity concerns within residential neighborhood

Mr. Wiggins,

Thank you for the response.

It appears that Mr. Weaver continues to project a less than transparent mannerism. Was an inquiry put to Mr. Weaver why the continued rental of the detached garage / storage structure to AirBnB respondents of his re-posted advertisement when he communicated back in December 2018 / January 2019 that the advertisement was going to be closed? Does Mr. Weaver still remain uncertain about the "rules" almost one year later? Readily available public information records confirm that Mr. Weaver spoke in front of City Commission on July 9, 2018 about this specific topic (AirBnB, short-term rental, etc.).

We have been advised that the AirBnB renters / individual(s) are still on the property located at 1051 Lake Bell Drive and have been for the past couple of weeks. These specific renter(s) / individual(s) drive a Toyota Rav4, light greenish / tealish in color, New York license plate # JBH-8923. We recommend City personnel physically inspect the property tomorrow morning (6/27/2019) and inquire directly with Mr. Weaver about continued rental activity of the non-permitted detached garage / storage structure located on the property.

We are still waiting on the City's response to Mr. Weaver's continued utilization of non-permitted structure(s) as rental property, regardless of where or how it is advertised as such.

Please refrain from utilizing the "grandfathered in" verbiage. We are cognizant that multitude of property and structure improvements occurring over the years have not been properly permitted, official records have not been provided to-date which substantiate proper permits were issued and completed; these weren't properly permitted while the property was still within unincorporated Orange County prior to; and weren't permitted after property's annexation into Winter Park. Recollect that you confirmed the City does not possess permits for the observed subterranean, horizontal / vertical property and structural improvements.

We once again respectfully request the City address the continued issues with this "Commissioner" poste haste.

regards

Concerned and InterestdCitizen

----- Original Message -----

On Friday, June 14, 2019 2:23 PM, George Wiggins <Gwiggins@cityofwinterpark.org> wrote:

In response to your inquiry, I have contacted the owner at 1051 Lake Bell Drive regarding use of the property for rental as an AirBNB. The owner stated that this site was revised to show no dates available, which I confirmed when I pulled it up. In addition, it was stated that the site is to be removed

entirely. It you pull up the web address of the site below, it does appear that the site reflecting 1051 Lake Bell Drive has been removed.

With regard to the property you identified at 1045 Lake Bell, I have asked our Code Compliance office to investigate this property which I understand they have done in the past and addressed non-compliance issues in this area.

With regard to your question regarding short term rentals, there has not been any change in the City's Code authorizing short term rentals under 30 days.

 <p>City of Winter Park 401 Park Ave. South</p> <p>Winter Park, FL. 32789 cityofwinterpark.org</p>	<p>George Wiggins Director of Bldg/Legis Affairs</p> <p>Building & Permitting Services</p> <p>407.599.3426</p>
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From: InterestdCitizen <InterestdCitizen@protonmail.com>
Sent: Wednesday, June 12, 2019 10:39 PM
To: George Wiggins <Gwiggins@cityofwinterpark.org>
Cc: CityManager <citymanager@cityofwinterpark.org>; Steven Leary <Sleary@cityofwinterpark.org>; Keri Martin <kmartin@cityofwinterpark.org>
Subject: RE: AirBNB short term rental activity concerns within residential neighborhood

Dear Mr. Wiggins and Ms. Martin,

We received out of office notifications from both of you when follow up communication was sent on May 24, 2019.

What is the status for the request(s) of the identified issues herein?

Note that rental activity continues unabated to-date at the two single family zoned residential properties previously identified (1051 and 1045 Lake Bell Drive). Occupant activity (non-resident foreign tagged vehicle(s)) continues at 1051 Lake Bell Drive in the non-permitted detached garage structure in question even though it appears that Mr Weaver has (once again) removed the AirBnB rental advertisement from the website. Furthermore, we are all cognizant that insufficient evidence exists or has yet to be provided which definitively confirms that the identified property / structures located at 1051 Lake Bell Drive were properly permitted for such occupancy or rental activity as well as to support the multitude of horizontal and vertical structural improvements occurring over the years. Unless we are mistaken or a "special" variance was obtained by Mr. Weaver, the neighborhood is still zoned Single Family Residence.

Its problematic when some citizens/residents may repeatably decline to follow rules we are supposed to adhere with, however its especially concerning when the individual doing so happens to be a "public representative."

Please address to permanently halt the identified issues / rental activities.

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Concerned and InterestdCitizen

----- Original Message -----

On Friday, May 24, 2019 4:52 PM, InterestdCitizen <InterestdCitizen@protonmail.com> wrote:

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Thank you for the follow up response confirming statement(s) attributed to you by Mr. Weaver are inaccurate.

Did Winter Park recently change the short-term (AIRBNB) rental ordinances and rules? Please advise that such change(s) to the City ordinances have not occurred. We are adamantly opposed to short-term rental activity within single-family residential neighborhoods.

Concerns are once again raised as the previously reported AirBNB activities continues unabated on Lake Bell Drive. Two of the previously reported properties, located at 1051 and 1045 Lake Bell Drive, are listed on AirBNB with non-owner occupants currently on premises. Based on the recent reviews contained within the AirBNB advertisement links which follow, the activity appears to have continued since you and Ms. Martin advised that City personnel addressed the issue with the respective property owners.

https://www.airbnb.com/rooms/14711105?location=Winter%20Park%20florida&adults=1&source_impression_id=p3_1558570702_RY7p%2F7haS8FrDRk0&guests=1&sl_alternate_dates_exclusion=true

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Furthermore, Mr. Weaver has not refrained from utilizing the detached garage/storage structure as a rental unit on AIRBNB after concerns of its continued usage as such were raised with the City last year. In fact, the individual continued to use the premises for short-term AIRBNB rental activities after speaking in front of the City Commission on July 9, 2018 requesting consideration for a compromise to allow short-term rentals for those who are homestead on their homes. Refer to Public Comments {items not on the agenda} regarding Air BandB's topic where "He asked that the Commission also consider a compromise."

<https://cityofwinterpark.org/docs/government/city-commission/minutes/min-2018-07-09.pdf>

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Recap of prior communications, official documentation has yet to be produced for the numerous property and structure improvements/modifications at 1051 Lake Bell Drive to conclusively and definitively substantiate all required permits were pulled

and completed over the years. You previously communicated that Winter Park does not have the records to support all of observed improvements. You also expressed that that such activity would be considered as "grandfathered in since the the owner communicated to you that the structural improvements occurred while the property was still within unincorporated Orange County. Once again, we respectfully dispute that communicated statement and without the proper documentation to support the observed property improvements, we remain skeptical. Orange County does not appear to have the official records to substantial the structure improvements on the property. As previously communicated, many of the observed property improvements occurred well after annexation into Winter Park. We are also cognizant that many residential items and building materials require manufacturers' specifications to be readily available which are utilized to meet local building code(s) as well as for traceability purposes. Mapping services as well as other such technology, including those within the City of Winter Park, Orange County and Orange County property appraiser's web link, exist to provide historical snapshots of the property over the years. Regardless of the available technologies, government agencies are required to issue and maintain applicable official permitting records for all required property changes necessitating such documents.

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In summary, questions as follows;

Where are all the required permit(s), official documentation with all applicable signatures, stamps and approvals required from each respective agency of record at the time of the noted improvements?

Did the current owner of the property or applicable licensed contractor/professional pull required permits prior to the electrical, mechanical, structural changes?

Has the current owner of 1051 Lake Bell Drive historically utilized real property as AIRBNB or otherwise rental premises which has not been permitted for such activities?

Is the current owner of 1051 Lake Bell Drive continuing to utilize the detached garage/storage structure as rental structure ("cottage")?

What corrective action(s) is the City pursuing to remedy the situation described herein?

Has the City provided a variance to the current property owner allowing the referenced "cottage" structure to be utilized as a rental unit?

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Concerned and InterestdCitizen

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As with all matters under review with regard to building or zoning violations, it is my intent to fairly and accurately enforce the codes and ordinances of the City to the greatest extent possible.

Thank you for your comments and observations made on this matter.

Respectfully,

George Wiggins

 <p>City of Winter Park 401 Park Ave. South</p> <p>Winter Park, FL. 32789 cityofwinterpark.org</p>	<p>George Wiggins Director of Bldg/Legis Affairs</p> <p>Building & Permitting Services</p> <p>407.599.3426</p>
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From: InterestdCitizen <InterestdCitizen@protonmail.com>
Sent: Friday, April 5, 2019 4:51 PM
To: George Wiggins <Gwiggins@cityofwinterpark.org>
Subject: RE: AirBNB short term rental activity concerns within residential neighborhood

Mr Wiggins,

Considering Mr. Weaver conveys that he has been a licensed Florida Contractor for 30 years it would add to the duplicity if the improvements weren't to code. However, the questions do not necessarily pertain to whether Mr. Weaver followed code when performing all construction improvements to the property over the years. The questions(s) have been and still are, where are the all permits for the construction, electrical, mechanical, roofing, etc., improvements performed over the years? How is it that three separate agencies; Orange County property appraiser, Orange County permitting including Winter Park have not yet provided or cannot provide evidence that such permits are available on file?

The gentleman is running for election to serve as a City Commissioner on seat # 4, and was a "past Orange County Lakes Advisory Board and Past Chairman of Winter Park Lakes and Waterways Advisory Board". We are aware most of the changes/improvements to the subject property occurred after its annexation into Winter Park in 2004. Thus, we are confused, if all required permits have yet to be conclusively and definitively substantiated, how was the gentleman able to convey the following statement which is attributed to you, "There are no ordinance, code, usage, permitting or any other violations per George Wiggins."?

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The following are just a few structure changes/improvements requiring issuance of necessary permits;

New roofing.

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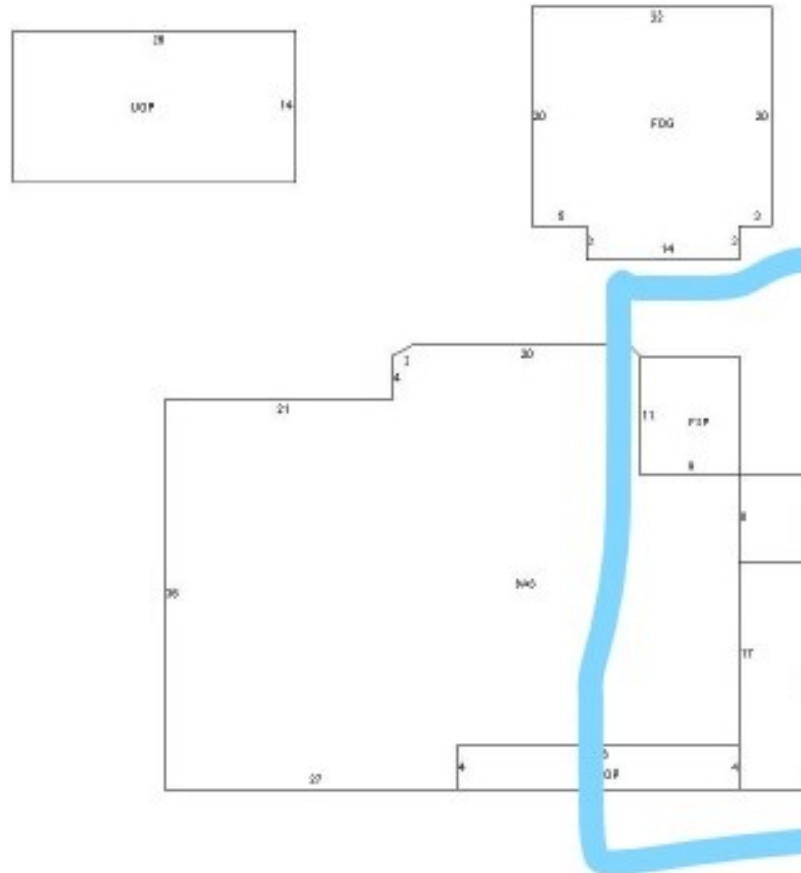
Numerous exterior improvements to the building structures, central air conditioning, under grounding of main power feed line from utility service pole to the main house, sidewalks to the side and rear of the property, second concrete driveway to the street to the west of the property, etc.

The following illustration(s) are just a few available for public consumption, to the left is available within the Orange County Property Appraiser's website. The illustration depicts the east side of the main property where the roof does not extend towards the rear of the structure. The picture to the right also comes from the Orange County Property Appraiser's website and clearly depicts the roof line extended to the rear of the building. In fact there is a clear outline which shows that this area has a newer roof line when compared to rest of the "new roof". There is also a new A/C condenser unit to the rear of the property on west side as is highlighted in the picture to the right (this unit was not visible in the 2007 picture, but is in the 2008 picture as shown herein).

Building Details - 1051 Lake Bell Dr - Building #1



Courtesy Rick Singh, Orange County Property Appraiser



Sub Area	Sqft	Value
BAS - Base Area	1855	working...
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----- Original Message -----

On Wednesday, April 3, 2019 12:39 PM, George Wiggins
<Gwiggins@cityofwinterpark.org> wrote:

We are treating this resident in a similar manner as we would any citizen and it is my understanding that the property does not currently have a Zoning violation with a rental accessory structure. As with any code violation, we will follow up with all due diligence. If any unpermitted construction work was conducted then

peterjweldon@outlook.com

From: InterestdCitizen <InterestdCitizen@protonmail.com>
Sent: Tuesday, July 2, 2019 3:00 PM
To: Peter Weldon
Subject: RE: AirBNB short term rental activity concerns within residential neighborhood

Dear Mr. Weldon,

There appears to be a pattern indicating that not only were there questionable comments, as well as written, with respect to the AirBnb subject matter, the perception suggests intent was to operate such rental activities utilizing the garage / storage building.structure converted without the required permits. We do not understand why someone with a general contractor's contractors license would proceed with numerous property and structure modifications without obtaining proper permits.

The City has yet to address the continued rental activities utilizing the "cottage", we were advised that the same individual(s) noted in prior communication are still on site as of today..

Regards
InterestdCitizen

Sent with [ProtonMail](#) Secure Email.

----- Original Message -----

On Friday, June 28, 2019 8:49 AM, Peter Weldon <peterjweldon@outlook.com> wrote:

Dear InterestdCitizen.

The evidence makes it clear that Weaver lied to the voters about his Airbnb activity.

His documented comments at the July 9, 2018 meeting makes it clear he knew the rules.

Todd Weaver, 1051 Lake Bell Drive, also addressed the large number of Air BandB's operating in his neighborhood. He stated that Orlando and Osceola County and other municipalities reached a compromise that people who are homesteaded on their homes are allowed to have short term rentals and the absentee landlords tend to be the problem. He asked that the Commission also consider a compromise.

His email threatening me in February 2019 makes it clear he knew the rules (see attached exhibit 3).

He told the Orlando Sentinel "It was an innocent mistake" (see story of February 21, 2019 attached).

Regards, Pete Weldon

From: InterestdCitizen <InterestdCitizen@protonmail.com>
Sent: Wednesday, June 26, 2019 10:58 PM
To: George Wiggins <Gwiggins@cityofwinterpark.org>
Cc: CityManager <citymanager@cityofwinterpark.org>; Steven Leary <Sleary@cityofwinterpark.org>; Keri Martin <kmartin@cityofwinterpark.org>; Randy Knight <Rknight@cityofwinterpark.org>
Subject: RE: AirBNB short term rental activity concerns within residential neighborhood

Mr. Wiggins,

Thank you for the response.

It appears that Mr. Weaver continues to project a less than transparent mannerism. Was an inquiry put to Mr. Weaver why the continued rental of the detached garage / storage structure to AirBnB respondents of his re-posted advertisement when he communicated back in December 2018 / January 2019 that the advertisement was going to be closed? Does Mr. Weaver still remain uncertain about the "rules" almost one year later? Readily available public information records confirm that Mr. Weaver spoke in front of City Commission on July 9, 2018 about this specific topic (AirBnB, short-term rental, etc.).

We have been advised that the AirBnB renters / individual(s) are still on the property located at 1051 Lake Bell Drive and have been for the past couple of weeks. These specific renter(s) / individual(s) drive a Toyota Rav4, light greenish / teal-ish in color, New York license plate # JBH-8923. We recommend City personnel physically inspect the property tomorrow morning (6/27/2019) and inquire directly with Mr. Weaver about continued rental activity of the non-permitted detached garage / storage structure located on the property.

We are still waiting on the City's response to Mr. Weaver's continued utilization of non-permitted structure(s) as rental property, regardless of where or how it is advertised as such.

Please refrain from utilizing the "grandfathered in" verbiage. We are cognizant that multitude of property and structure improvements occurring over the years have not been properly permitted, official records have not been provided to-date which substantiate proper permits were issued and completed; these weren't properly permitted while the property was still within unincorporated Orange County prior to; and weren't permitted after property's annexation into Winter Park. Recollect that you confirmed the City does not possess permits for the observed subterranean, horizontal / vertical property and structural improvements.

We once again respectfully request the City address the continued issues with this "Commissioner" poste haste.

regards

Concerned and InterestdCitizen

----- Original Message -----

On Friday, June 14, 2019 2:23 PM, George Wiggins <Gwiggins@cityofwinterpark.org> wrote:

In response to your inquiry, I have contacted the owner at 1051 Lake Bell Drive regarding use of the property for rental as an AirBNB. The owner stated that this site was revised to show no dates available, which I confirmed when I pulled it up. In addition, it was stated that the site is to be removed entirely. If you pull up the web address of the site below, it does appear that the site reflecting 1051 Lake Bell Drive has been removed.

With regard to the property you identified at 1045 Lake Bell, I have asked our Code Compliance office to investigate this property which I understand they have done in the past and addressed non-compliance issues in this area.

With regard to your question regarding short term rentals, there has not been any change in the City's Code authorizing short term rentals under 30 days.



From: InterestdCitizen <InterestdCitizen@protonmail.com>
Sent: Wednesday, June 12, 2019 10:39 PM
To: George Wiggins <Gwiggins@cityofwinterpark.org>
Cc: CityManager <citymanager@cityofwinterpark.org>; Steven Leary <Sleary@cityofwinterpark.org>; Keri Martin <kmartin@cityofwinterpark.org>
Subject: RE: AirBNB short term rental activity concerns within residential neighborhood

Dear Mr. Wiggins and Ms. Martin,

We received out of office notifications from both of you when follow up communication was sent on May 24, 2019.

What is the status for the request(s) of the identified issues herein?

Note that rental activity continues unabated to-date at the two single family zoned residential properties previously identified (1051 and 1045 Lake Bell Drive). Occupant activity (non-resident foreign tagged vehicle(s)) continues at 1051 Lake Bell Drive in the non-permitted detached garage structure in question even though it appears that Mr Weaver has (once again) removed the AirBnB rental advertisement from the website. Furthermore, we are all cognizant that insufficient evidence exists or has yet to be provided which definitively confirms that the identified property / structures located at

1051 Lake Bell Drive were properly permitted for such occupancy or rental activity as well as to support the multitude of horizontal and vertical structural improvements occurring over the years. Unless we are mistaken or a "special" variance was obtained by Mr. Weaver, the neighborhood is still zoned Single Family Residence.

Its problematic when some citizens/residents may repeatably decline to follow rules we are supposed to adhere with, however its especially concerning when the individual doing so happens to be a "public representative."

Please address to permanently halt the identified issues / rental activities.

regards

Concerned and InterestdCitizen

----- Original Message -----

On Friday, May 24, 2019 4:52 PM, InterestdCitizen <InterestdCitizen@protonmail.com> wrote:

Mr. Wiggins,

Thank you for the follow up response confirming statement(s) attributed to you by Mr. Weaver are inaccurate.

Did Winter Park recently change the short-term (AIRBNB) rental ordinances and rules? Please advise that such change(s) to the City ordinances have not occurred. We are adamantly opposed to short-term rental activity within single-family residential neighborhoods.

Concerns are once again raised as the previously reported AirBNB activities continues unabated on Lake Bell Drive. Two of the previously reported properties, located at 1051 and 1045 Lake Bell Drive, are listed on AirBNB with non-owner occupants currently on premises. Based on the recent reviews contained within the AirBNB advertisement links which follow, the activity appears to have continued since you and Ms. Martin advised that City personnel addressed the issue with the respective property owners.

https://www.airbnb.com/rooms/14711105?location=Winter%20Park%20Florida&adults=1&source_impression_id=p3_1558570702_RY7p%2F7haS8FrDRk0&guests=1&sl_alternate_dates_exclusion=true

https://www.airbnb.com/rooms/11086620?location=Winter%20Park%20Florida&adults=1&children=0&checkin=&checkout=&source_impression_id=p3_1558568451_dVLWKEPVLRUAbLN5

Furthermore, Mr. Weaver has not refrained from utilizing the detached garage/storage structure as a rental unit on AIRBNB after concerns of its continued usage as such were raised with the City last year. In fact, the individual continued to use the premises for short-term AIRBNB rental activities after speaking in front of the City Commission on July 9, 2018 requesting consideration for a compromise to allow short-term rentals for those who are homestead on their homes. Refer to Public Comments {items not on the agenda} regarding Air BandB's topic where "He asked that the Commission also consider a compromise."

<https://cityofwinterpark.org/docs/government/city-commission/minutes/min-2018-07-09.pdf>

Would the City kindly reinforce to the property owner to refrain from utilizing non-permitted structure(s) as rental unit(s) and abide by City rules? We adamantly protest short-term rental activity in single-family residential neighborhoods completely unsuitable for such business related activities and contrary to local ordinances and zoning. If an individual aspires to own a motel business they can certainly do so at locations elsewhere which are designated for such activities.

Recap of prior communications, official documentation has yet to be produced for the numerous property and structure improvements/modifications at 1051 Lake Bell Drive to conclusively and definitively substantiate all required permits were pulled and completed over the years. You previously communicated that Winter Park does not have the records to support all of observed improvements. You also expressed that that such activity would be

considered as "grandfathered in since the the owner communicated to you that the structural improvements occurred while the property was still within unincorporated Orange County. Once again, we respectfully dispute that communicated statement and without the proper documentation to support the observed property improvements, we remain skeptical. Orange County does not appear to have the official records to substantial the structure improvements on the property. As previously communicated, many of the observed property improvements occurred well after annexation into Winter Park. We are also cognizant that many residential items and building materials require manufacturers' specifications to be readily available which are utilized to meet local building code(s) as well as for traceability purposes. Mapping services as well as other such technology, including those within the City of Winter Park, Orange County and Orange County property appraiser's web link, exist to provide historical snapshots of the property over the years. Regardless of the available technologies, government agencies are required to issue and maintain applicable official permitting records for all required property changes necessitating such documents.

Utilizing readily available public information, including the property owner's political campaign information, it is surprising that basic knowledge of the City's ordinance, permitting and zoning requirements would be so lacking by the property owner. Would it not be reasonable to surmise that a "past Orange County Lakes Advisory Board and Past Chairman of Winter Park Lakes and Waterways Advisory Board" would be well-versed with requirements? Particularly when considering that the individual states the following; "has held a Florida General Contractor license for nearly 30 years and has redeveloped multiple residential and commercial properties in Florida, while never asking for variances or zoning changes."

In summary, questions as follows;

Where are all the required permit(s), official documentation with all applicable signatures, stamps and approvals required from each respective agency of record at the time of the noted improvements?

Did the current owner of the property or applicable licensed contractor/professional pull required permits prior to the electrical, mechanical, structural changes?

Has the current owner of 1051 Lake Bell Drive historically utilized real property as AIRBNB or otherwise rental premises which has not been permitted for such activities?

Is the current owner of 1051 Lake Bell Drive continuing to utilize the detached garage/storage structure as rental structure ("cottage")?

What corrective action(s) is the City pursuing to remedy the situation described herein?

Has the City provided a variance to the current property owner allowing the referenced "cottage" structure to be utilized as a rental unit?

regards

Concerned and InterestdCitizen

----- Original Message -----

On Sunday, April 7, 2019 7:33 PM, George Wiggins
<Gwiggins@cityofwinterpark.org> wrote:

In response to your inquiry, let me assure you that actions regarding this matter are being taken in the same manner as we would follow with any citizen and in accordance with the advice of our City Attorney.

With regard to the statement attributed to me: "There are no ordinance, code, usage, permitting or any other violations per George Wiggins;" I have never made such statement with regard to the subject property that you are addressing.

As with all matters under review with regard to building or zoning violations, it is my intent to fairly and accurately enforce the codes and ordinances of the City to the greatest extent possible.

Thank you for your comments and observations made on this matter.

Respectfully,

peterjweldon@outlook.com

From: InterestdCitizen <InterestdCitizen@protonmail.com>
Sent: Tuesday, August 13, 2019 10:10 PM
To: Steven Leary; CityManager
Cc: George Wiggins; codecompliance@cityofwinterpark.org; Randy Knight; Keri Martin
Subject: RE: [External] RE: AirBNB short term rental activity concerns within residential neighborhood

Dear Mayor Leary and Mr. Knight,

We respectfully request the City to address Mr. Weaver's (Commission Seat # 4) continued disregard for the City Of Winter Park's code(s) and ordinance(s). The address located at 1051 Lake Bell Drive is once again advertising the detached garage/storage structure on the property as a rental unit, this time utilizing www.zillow.com. This detached garage/storage structure was extensively improved and converted to a "cottage", without proper permits, to specifically function as a rental unit. The direct web link to the advertisement is https://www.zillow.com/homedetails/Lake-Bell-Dr-Winter-Park-FL-32789/2129120598_zpid/. The property manager referenced on the listing is a Margie Bridges who appears to be a licensed property agent. Would this be the same Margie Bridges, a past Winter Park Commissioner that also endorsed Mr. Weaver for commission seat # 4?

To-date, official records have not been provided which substantiate that all applicable permits were pulled and completed successfully from each of the respective governing agency for the numerous horizontal and/or vertical structural changes and/or improvements occurring at the referenced property prior to 2019. The majority of these changes or conversions, for all structures onsite including the "cottage", occurred after its annexation by the City of Winter Park in 2004.

While the City is following up with Mr. Weaver, please address the continued AirBnB rental activity with the neighbor immediately next door to 1051 Lake Bell Drive. We were advised that the City has addressed the issue with this property owner on several occasions, however it appears that the City's communication(s) have not been taken seriously. The web link which follows is for 1045 LAKE BELL DR.

https://www.airbnb.com/rooms/11086620?location=winter%20park%20florida&source_impression_id=p3_1565745305_cjQ5v3fRvC0L9nPW&s=YSktpIB6

What is required to do halt the not allowed rental activity permanently within the SINGLE FAMILY zoned neighbor?
Does the issue need to be escalated elsewhere?

We once again respectfully request the City to address the communicated issue(s).

regards
Concerned and InterestdCitizen

----- Original Message -----

On Monday, July 1, 2019 6:28 PM, Keri Martin <kmartin@cityofwinterpark.org> wrote:

Good afternoon,

The property at 1051 Lake Bell Drive is no longer advertised on Airbnb.

Two additional properties on Lake Bell Drive are currently in process with Code Compliance.

Sincerely,

Keri

Keri Martin, Division Director

Risk, Safety & Fleet Services

City of Winter Park

401 S. Park Avenue

Winter Park, FL 32789

Tel: 407.599.3390

Fax: 407.691.6589

From: InterestdCitizen <InterestdCitizen@protonmail.com>

Sent: Wednesday, June 26, 2019 10:58 PM

To: George Wiggins <Gwiggins@cityofwinterpark.org>

Cc: CityManager <citymanager@cityofwinterpark.org>; Steven Leary <Sleary@cityofwinterpark.org>;

Keri Martin <kmartin@cityofwinterpark.org>; Randy Knight <Rknight@cityofwinterpark.org>

Subject: [External] RE: AirBNB short term rental activity concerns within residential neighborhood

[Caution: This email originated from outside the City of Winter Park email system. Before clicking any hyperlinks contained in the email, verify the real address by hovering over the link with your mouse. Do not open attachments from unknown or unverified sources.]

Mr. Wiggins,

Thank you for the response.

It appears that Mr. Weaver continues to project a less than transparent mannerism. Was an inquiry put to Mr. Weaver why the continued rental of the detached garage / storage structure to AirBnB respondents of his re-posted advertisement when he communicated back in December 2018 / January 2019 that the advertisement was going to be closed? Does Mr. Weaver still remain uncertain about the "rules" almost one year later? Readily available public information records confirm that Mr. Weaver spoke in front of City Commission on July 9, 2018 about this specific topic (AirBnB, short-term rental, etc.).

We have been advised that the AirBnB renters / individual(s) are still on the property located at 1051 Lake Bell Drive and have been for the past couple of weeks. These specific renter(s) / individual(s) drive a Toyota Rav4, light greenish / teal-ish in color, New York license plate # JBH-8923. We recommend City personnel physically inspect the property tomorrow morning (6/27/2019) and inquire directly with Mr. Weaver about continued rental activity of the non-permitted detached garage / storage structure located on the property.

We are still waiting on the City's response to Mr. Weaver's continued utilization of non-permitted structure(s) as rental property, regardless of where or how it is advertised as such.

Please refrain from utilizing the "grandfathered in" verbiage. We are cognizant that multitude of property and structure improvements occurring over the years have not been properly permitted, official records have not been provided to-date which substantiate proper permits were issued and completed; these weren't properly permitted while the property was still within unincorporated Orange County prior to; and weren't permitted after property's annexation into Winter Park. Recollect that you confirmed the City does not possess permits for the observed subterranean, horizontal / vertical property and structural improvements.

We once again respectfully request the City address the continued issues with this "Commissioner" poste haste.

regards

Concerned and InterestdCitizen

----- Original Message -----

On Friday, June 14, 2019 2:23 PM, George Wiggins <Gwiggins@cityofwinterpark.org> wrote:

In response to your inquiry, I have contacted the owner at 1051 Lake Bell Drive regarding use of the property for rental as an AirBNB. The owner stated that this site was revised to show no dates available, which I confirmed when I pulled it up. In addition, it was stated that the site is to be removed entirely. If you pull up the web address of the site below, it does appear that the site reflecting 1051 Lake Bell Drive has been removed.

With regard to the property you identified at 1045 Lake Bell, I have asked our Code Compliance office to investigate this property which I understand they have done in the past and addressed non-compliance issues in this area.

With regard to your question regarding short term rentals, there has not been any change in the City's Code authorizing short term rentals under 30 days.

 <p>City of Winter Park 401 Park Ave. South</p> <p>Winter Park, FL. 32789 cityofwinterpark.org</p>	<p>George Wiggins Director of Bldg/Legis Affairs</p> <p>Building & Permitting Services</p> <p>407.599.3426</p>
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From: InterestdCitizen <InterestdCitizen@protonmail.com>
Sent: Wednesday, June 12, 2019 10:39 PM
To: George Wiggins <Gwiggins@cityofwinterpark.org>
Cc: CityManager <citymanager@cityofwinterpark.org>; Steven Leary <Sleary@cityofwinterpark.org>; Keri Martin <kmartin@cityofwinterpark.org>
Subject: RE: AirBNB short term rental activity concerns within residential neighborhood

Dear Mr. Wiggins and Ms. Martin,

We received out of office notifications from both of you when follow up communication was sent on May 24, 2019.

What is the status for the request(s) of the identified issues herein?

Note that rental activity continues unabated to-date at the two single family zoned residential properties previously identified (1051 and 1045 Lake Bell Drive). Occupant activity (non-resident foreign tagged vehicle(s)) continues at 1051 Lake Bell Drive in the non-permitted detached garage structure in question even though it appears that Mr Weaver has (once again) removed the AirBnB rental advertisement from the website. Furthermore, we are all cognizant that insufficient evidence exists or has yet to be provided which definitively confirms that the identified property / structures located at 1051 Lake Bell Drive were properly permitted for such occupancy or rental activity as well as to support the multitude of horizontal and vertical structural improvements occurring over the years. Unless we are mistaken or a "special" variance was obtained by Mr. Weaver, the neighborhood is still zoned Single Family Residence.

Its problematic when some citizens/residents may repeatably decline to follow rules we are supposed to adhere with, however its especially concerning when the individual doing so happens to be a "public representative."

Please address to permanently halt the identified issues / rental activities.

regards

Concerned and InterestdCitizen

----- Original Message -----

peterjweldon@outlook.com

From: InterestdCitizen <InterestdCitizen@protonmail.com>
Sent: Thursday, September 12, 2019 7:11 PM
To: Steven Leary; CityManager
Cc: codecompliance; Randy Knight; Keri Martin
Subject: Re: [External] RE: [External] RE: AirBNB short term rental activity concerns within residential neighborhood
Attachments: image003.png; image001.jpg; image002.png

Dear Winter Park Leadership,

It has become apparent that the repeated advisories sent to the City over the past year regarding the illegal rental activities occurring at 1049 and 1051 Lake Bell Drive, Winter Park 32789 is not being addressed appropriately.

Mr. Weaver at 1051 Lake Bell Drive continues to utilize the non-permitted "cottage" as an occupied dwelling.
https://eur03.safelinks.protection.outlook.com/?url=https%3A%2F%2Fwww.zillow.com%2Fhomedetails%2FLake-Bell-Dr-Winter-Park-FL-32789%2F2129120598_zpid%2F&data=02%7C01%7C%7C318433f2bd814d4d475e08d737d689db%7C84df9e7fe9f640afb435aaaaaaaaaaaa%7C1%7C0%7C637039266885238521&sd=za8tq%2BvZfR%2B8nYwFfMe61kDGjUHIQqQqhZfTs%2BVG1tw%3D&reserved=0

Ms. Bressler, does not live at this residence, 1049 Lake Bell Drive continues to utilize the property for short term rentals within AirBnB.
https://eur03.safelinks.protection.outlook.com/?url=https%3A%2F%2Fwww.airbnb.com%2Frooms%2F11086620%3Fadults%3D1%26source_impression_id%3Dp3_1568327772_8fPijk%252F9%252FLVApT1W&data=02%7C01%7C%7C318433f2bd814d4d475e08d737d689db%7C84df9e7fe9f640afb435aaaaaaaaaaaa%7C1%7C0%7C637039266885248526&sd=WhNp9zJHdgUzVOvrMawVvpMvBJK%2FNe876mU4mSXQRrc%3D&reserved=0

The traffic observed at the two properties continues unabated and needs to come to a halt with satisfactory conclusion. This is a single family residential zoned area with no short term rental allowances.

Please ENFORCE the rules with the two property owners.

The situation is particularly troubling considering that one of the property owners is currently serving as a "Commissioner" of seat 4.

regards
InterestdCitizen

----- Original Message -----

On Sunday, August 18, 2019 4:41 PM, George Wiggins <Gwiggins@cityofwinterpark.org> wrote:

> I refer you to Code Compliance for code enforcement matters.

>

> George Wiggins

>

> Sent from my iPad

>

>> On Aug 13, 2019, at 10:10 PM, "InterestdCitizen" InterestdCitizen@protonmail.com wrote:

>> [Caution: This email originated from outside the City of Winter Park

>> email system. Before clicking any hyperlinks contained in the email,

>> verify the real address by hovering over the link with your mouse. Do not open attachments from unknown

or unverified sources.] Dear Mayor Leary and Mr. Knight, We respectfully request the City to address Mr.

Weaver's (Commission Seat # 4) continued disregard for the City Of Winter Park's code(s) and ordinance(s).

The address located at 1051 Lake Bell Drive is once again advertising the detached garage/storage structure

on the property as an rental unit, this time utilizing

[https://eur03.safelinks.protection.outlook.com/?url=www.zillow.comhttp%3A%2F%2Fwww.zillow.com&](https://eur03.safelinks.protection.outlook.com/?url=www.zillow.comhttp%3A%2F%2Fwww.zillow.com&data=02%7C01%7C%7C318433f2bd814d4d475e08d737d689db%7C84df9e7fe9f640afb435aaaaaaaaaaaa%7C1%7C0%7C637039266885248526&sdata=BV3cmsrLC5hBK%2Bsw9UgEROCTItIVxv9g20qaJvhMXX0%3D&am)

[data=02%7C01%7C%7C318433f2bd814d4d475e08d737d689db%7C84df9e7fe9f640afb435aaaaaaaaaaaa%7C1%7C0%7C637039266885248526&](https://eur03.safelinks.protection.outlook.com/?url=www.zillow.comhttp%3A%2F%2Fwww.zillow.com&data=02%7C01%7C%7C318433f2bd814d4d475e08d737d689db%7C84df9e7fe9f640afb435aaaaaaaaaaaa%7C1%7C0%7C637039266885248526&sdata=BV3cmsrLC5hBK%2Bsw9UgEROCTItIVxv9g20qaJvhMXX0%3D&am)

[p;sdata=BV3cmsrLC5hBK%2Bsw9UgEROCTItIVxv9g20qaJvhMXX0%3D&am](https://eur03.safelinks.protection.outlook.com/?url=www.zillow.comhttp%3A%2F%2Fwww.zillow.com&data=02%7C01%7C%7C318433f2bd814d4d475e08d737d689db%7C84df9e7fe9f640afb435aaaaaaaaaaaa%7C1%7C0%7C637039266885248526&sdata=BV3cmsrLC5hBK%2Bsw9UgEROCTItIVxv9g20qaJvhMXX0%3D&am)

[p;reserved=0. This detached garage/storage structure was extensively improved and converted to a "cottage",](https://eur03.safelinks.protection.outlook.com/?url=www.zillow.comhttp%3A%2F%2Fwww.zillow.com&data=02%7C01%7C%7C318433f2bd814d4d475e08d737d689db%7C84df9e7fe9f640afb435aaaaaaaaaaaa%7C1%7C0%7C637039266885248526&sdata=BV3cmsrLC5hBK%2Bsw9UgEROCTItIVxv9g20qaJvhMXX0%3D&am)

without proper permits, to specifically function as a rental unit. The direct web link to the advertisement is

<https://eur03.safelinks.protection.outlook.com/?url=https%3A%2F%2Fwww.zillow.com%2Fhomedetails%2FLa>

[ke-Bell-Dr-Winter-Park-FL-](https://eur03.safelinks.protection.outlook.com/?url=https%3A%2F%2Fwww.zillow.com%2Fhomedetails%2FLa)

[32789%2F2129120598_zpid%2F&data=02%7C01%7C%7C318433f2bd814d4d475e08d737d689db%7C84df9e7fe9f640afb435aaaaaaaaaaaa%7C1%7C0%7C637039266885248526&sdata=UF1b8bQnOR5Wwejpudc](https://eur03.safelinks.protection.outlook.com/?url=https%3A%2F%2Fwww.zillow.com%2Fhomedetails%2FLa)

[SwObIPvbsvBrydoKUqESsK4%3D&reserved=0. The property manager referenced on the listing is a](https://eur03.safelinks.protection.outlook.com/?url=https%3A%2F%2Fwww.zillow.com%2Fhomedetails%2FLa)

Margie Bridges who appears to be a licensed property agent. Would this be the same Margie Bridges, a past

Winter Park Commissioner that also endorsed Mr. Weaver for commission seat # 4?

>> To-date, official records have not been provided which substantiate that all applicable permits were pulled

and completed successfully from each of the respective governing agency for the numerous horizontal and/or

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annexation by the City of Winter Park in 2004.

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>> continued AirBnB rental activity with the neighbor immediately next

>> door to 1051 Lake Bell Drive. We were advised that the City has

>> addressed the issue with this property owner on several occasions,

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>> taken seriously. The web link which follows is for 1045 LAKE BELL

>> DR.

>> <https://eur03.safelinks.protection.outlook.com/?url=https%3A%2F%2Fwww>

[w.airbnb.com%2Frooms%2F11086620%3Flocation%3Dwinter&data=02%7C01](https://eur03.safelinks.protection.outlook.com/?url=https%3A%2F%2Fwww)

[%7C%7C318433f2bd814d4d475e08d737d689db%7C84df9e7fe9f640afb435aaaaaa](https://eur03.safelinks.protection.outlook.com/?url=https%3A%2F%2Fwww)

[aaaa%7C1%7C0%7C637039266885248526&sdata=u85lyomwTslr3qyuNz53273](https://eur03.safelinks.protection.outlook.com/?url=https%3A%2F%2Fwww)

[drNq2jXWM9TmOHxTpmsc%3D&reserved=0 park](https://eur03.safelinks.protection.outlook.com/?url=https%3A%2F%2Fwww)

[florida&source_impression_id=p3_1565745305_cjQ5v3fRvCOL9nPW&s=YSktpI](https://eur03.safelinks.protection.outlook.com/?url=https%3A%2F%2Fwww)

>> B6 What is required to do halt the not allowed rental activity

>> permanently within the SINGLE FAMILY zoned neighbor?

>> Does the issue need to be escalated elsewhere?

>> We once again respectfully request the City to address the communicated issue(s).

>> regards
>> Concerned and InterestdCitizen
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>> Keri
>> Keri Martin, Division Director
>> Risk, Safety & Fleet Services
>> City of Winter Park
>> 401 S. Park Avenue
>> Winter Park, FL 32789
>> Tel: 407.599.3390
>> Fax: 407.691.6589
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>> With regard to the property you identified at 1045 Lake Bell, I have asked our Code Compliance office to investigate this property which I understand they have done in the past and addressed non-compliance issues in this area.

>> With regard to your question regarding short term rentals, there has not been any change in the City's Code authorizing short term rentals under 30 days.

>> [cid:image001.jpg@01D434C6.FE720040]

>> City of Winter Park

>> 401 Park Ave. South

>> Winter Park, FL. 32789

>> cityofwinterpark.org<http://cityofwinterpark.org>

>> George Wiggins

>> Director of Bldg/Legis Affairs

>> Building & Permitting Services

>> 407.599.3426

>> From: InterestdCitizen

>> <InterestdCitizen@protonmail.commailto:InterestdCitizen@protonmail.c

>> om>

>> Sent: Wednesday, June 12, 2019 10:39 PM

>> To: George Wiggins

>> <Gwiggins@cityofwinterpark.orgmailto:Gwiggins@cityofwinterpark.org>

>> Cc: CityManager

>> <citymanager@cityofwinterpark.orgmailto:citymanager@cityofwinterpark

>> .org>; Steven Leary

>> <Sleary@cityofwinterpark.orgmailto:Sleary@cityofwinterpark.org>;

>> Keri Martin

>> <kmartin@cityofwinterpark.orgmailto:kmartin@cityofwinterpark.org>

>> Subject: RE: AirBNB short term rental activity concerns within

>> residential neighborhood Dear Mr. Wiggins and Ms. Martin, We

>> received out of office notifications from both of you when follow up communication was sent on May 24, 2019.

>> What is the status for the request(s) of the identified issues herein?

>> Note that rental activity continues unabated to-date at the two single family zoned residential properties previously identified (1051 and 1045 Lake Bell Drive). Occupant activity (non-resident foreign tagged vehicle(s)) continues at 1051 Lake Bell Drive in the non-permitted detached garage structure in question even though it appears that Mr Weaver has (once again) removed the AirBnB rental advertisement from the website. Furthermore, we are all cognizant that insufficient evidence exists or has yet to be provided which

From: InterestdCitizen <InterestdCitizen@protonmail.com>
Sent: Friday, January 31, 2020 1:36 PM
To: Steven Leary; CityManager
Cc: codecompliance; Randy Knight; Keri Martin; gseidel@cityofwinterpark.org; ssprinkel@cityofwinterpark.org
Subject: Re: [External] RE: [External] RE: AirBNB short term rental activity concerns within residential neighborhood
Attachments: image001.jpg; image003.png; image002.png

Dear Winter Park City elected officials and employees,

Its apparent that the repeated advisories and requests sent to the City over the past year and half regarding the illegal rental activities occurring at 1049 and 1051 Lake Bell Drive, Winter Park 32789 are not being addressed appropriately.

Both property owners have and still continue with short-term rental activity since we last communicated to the City. In fact, the owner of 1049 has the property listed for sale on zillow.com advertised as follows; "Investment AirBNB Home For Sale- Income producing Lake house in Winter Park, Florida. 5 Star Superhost property that is booked solid thru March 1st, 2020. House has 122 five star reviews! Earned \$50,577 revenue in 2019! 90% Occupancy Rate."

https://nam11.safelinks.protection.outlook.com/?url=https%3A%2F%2Fwww.zillow.com%2Fhomedetails%2F1045-Lake-Bell-Dr-Winter-Park-FL-32789%2F46039032_zpid%2F&data=02%7C01%7C%7C3e2ff246bdce44e6ac2008d7a67c7e7c%7C84df9e7fe9f640afb435aaaaaaaaaaaa%7C1%7C0%7C637160925953795987&sd=WWgpom0DnLW9rKwKIMXB L81XFDZI%2B6Nk9BDmTLWMeuU%3D&reserved=0

Mr. Weaver Commission seat #4 located at 1051 Lake Bell Drive has not refrained from utilizing the NON-PERMITTED "cottage" as an occupied rental dwelling in violation of City Codes.

The following information has come to our attention that the following individuals have either recently rented or are currently on premise occupying the NON-PERMITTED structure. The following are just a sampling of individuals who have passed through Mr. Weaver's NON-PERMITTED structure. Additionally, this property is located in a SINGLE family zoned area.

Mr. Jonathan D. Loew phone # 407-440-1337 rented and occupied the NON-PERMITTED structure for a duration in December 2019.

Two individuals driving the following vehicles are currently occupying the NON-PERMITTED structure;

Female, gray/greenish Hyundai Sante Fe SUV tag # Z78 FHC.
Male, white Nissan Sentra 4 door sedan, tag # IJ9 1YZ.

May we remind the City that Mr. Weaver took an "Oath of Office" during the swearing in ceremony for Commission seat 4. As Mr. Weaver continues to display a pattern of which rules should or should not apply to

himself. We are left with no other alternative then to respectively point the City to the following, Winter Park, Florida - Code of Ordinances Chapter 48 - CODE OF ETHICS.

Mr Weaver has a projected a history of improving this specific property over many years with little to zero evidence that all appropriate and required permits were issued and/or approved. Permits for the extensive work performed on the property have not been located or provided by the respective agencies including Winter Park. Recollect that Mr. Weaver communicated to the public that he has held a Florida contractor's license for many years and has never requested permit waivers.

We conclude this communication utilizing Mr. Weaver's own verbiage.

"Todd believes Winter Park citizens deserve a city government that represents THEIR vision of how Winter Park grows and how THEIR tax dollars are spent. Todd supports a Code of Conduct for Winter Park City officials. He believes that city officials have an obligation to recuse themselves on votes to avoid even the appearance of a conflict of interest. Adoption of a code of ethics governing city officials was supported by over 70% of Winter Park voters in a previous election, yet none was ever enacted. Todd believes this needs to change."

----- Original Message -----

On Thursday, September 12, 2019 11:11 PM, InterestdCitizen <InterestdCitizen@protonmail.com> wrote:

> Dear Winter Park Leadership,

>

> It has become apparent that the repeated advisories sent to the City over the past year regarding the illegal rental activities occurring at 1049 and 1051 Lake Bell Drive, Winter Park 32789 is not being addressed appropriately.

>

> Mr. Weaver at 1051 Lake Bell Drive continues to utilize the non-permitted "cottage" as an occupied dwelling.

> https://nam11.safelinks.protection.outlook.com/?url=https%3A%2F%2Fwww.zillow.com%2Fhomedetails%2FLake-Bell-Dr-Winter-Park-FL-32789%2F2129120598_zpid%2F&data=02%7C01%7C%7C3e2ff246bdce44e6ac2008d7a67c7e7c%7C84df9e7fe9f640afb435aaaaaaaaaaaa%7C1%7C0%7C637160925953795987&sdata=0kKd4TAlwLGe6lvF8U1e5C%2Fcxf2%2BLyXIEHvCw0f3IRg%3D&reserved=0

> https://nam11.safelinks.protection.outlook.com/?url=https%3A%2F%2Fwww.airbnb.com%2Frooms%2F11086620%3Fadults%3D1%26source_impression_id%3Dp3_1568327772_8fPijk%252F9%252FLVApT1W&data=02%7C01%7C%7C3e2ff246bdce44e6ac2008d7a67c7e7c%7C84df9e7fe9f640afb435aaaaaaaaaaaa%7C1%7C0%7C637160925953795987&sdata=zH872SR6MsFYo98VjxOSqOfSDwKmlVxry3Z3BAyoGWw%3D&reserved=0

> Ms. Bressler, does not live at this residence, 1049 Lake Bell Drive continues to utilize the property for short term rentals within AirBnB.

> https://nam11.safelinks.protection.outlook.com/?url=https%3A%2F%2Fwww.airbnb.com%2Frooms%2F11086620%3Fadults%3D1%26source_impression_id%3Dp3_1568327772_8fPijk%252F9%252FLVApT1W&data=02%7C01%7C%7C3e2ff246bdce44e6ac2008d7a67c7e7c%7C84df9e7fe9f640afb435aaaaaaaaaaaa%7C1%7C0%7C637160925953795987&sdata=zH872SR6MsFYo98VjxOSqOfSDwKmlVxry3Z3BAyoGWw%3D&reserved=0

> [airbnb.com%2Frooms%2F11086620%3Fadults%3D1%26source_impression_id%3Dp3_1568327772_8fPijk%252F9%252FLVApT1W&data=02%7C01%7C%7C3e2ff246bdce44e6ac2008d7a67c7e7c%7C84df9e7fe9f640afb435aaaaaaaaaaaa%7C1%7C0%7C637160925953795987&sdata=zH872SR6MsFYo98VjxOSqOfSDwKmlVxry3Z3BAyoGWw%3D&reserved=0](https://nam11.safelinks.protection.outlook.com/?url=https%3A%2F%2Fwww.airbnb.com%2Frooms%2F11086620%3Fadults%3D1%26source_impression_id%3Dp3_1568327772_8fPijk%252F9%252FLVApT1W&data=02%7C01%7C%7C3e2ff246bdce44e6ac2008d7a67c7e7c%7C84df9e7fe9f640afb435aaaaaaaaaaaa%7C1%7C0%7C637160925953795987&sdata=zH872SR6MsFYo98VjxOSqOfSDwKmlVxry3Z3BAyoGWw%3D&reserved=0)

> [_1568327772_8fPijk%252F9%252FLVApT1W&data=02%7C01%7C%7C3e2ff246bdce44e6ac2008d7a67c7e7c%7C84df9e7fe9f640afb435aaaaaaaaaaaa%7C1%7C0%7C637160925953795987&sdata=zH872SR6MsFYo98VjxOSqOfSDwKmlVxry3Z3BAyoGWw%3D&reserved=0](https://nam11.safelinks.protection.outlook.com/?url=https%3A%2F%2Fwww.airbnb.com%2Frooms%2F11086620%3Fadults%3D1%26source_impression_id%3Dp3_1568327772_8fPijk%252F9%252FLVApT1W&data=02%7C01%7C%7C3e2ff246bdce44e6ac2008d7a67c7e7c%7C84df9e7fe9f640afb435aaaaaaaaaaaa%7C1%7C0%7C637160925953795987&sdata=zH872SR6MsFYo98VjxOSqOfSDwKmlVxry3Z3BAyoGWw%3D&reserved=0)

> [e44e6ac2008d7a67c7e7c%7C84df9e7fe9f640afb435aaaaaaaaaaaa%7C1%7C0%7C637160925953795987&sdata=zH872SR6MsFYo98VjxOSqOfSDwKmlVxry3Z3BAyoGWw%3D&reserved=0](https://nam11.safelinks.protection.outlook.com/?url=https%3A%2F%2Fwww.airbnb.com%2Frooms%2F11086620%3Fadults%3D1%26source_impression_id%3Dp3_1568327772_8fPijk%252F9%252FLVApT1W&data=02%7C01%7C%7C3e2ff246bdce44e6ac2008d7a67c7e7c%7C84df9e7fe9f640afb435aaaaaaaaaaaa%7C1%7C0%7C637160925953795987&sdata=zH872SR6MsFYo98VjxOSqOfSDwKmlVxry3Z3BAyoGWw%3D&reserved=0)

> [160925953795987&reserved=0](https://nam11.safelinks.protection.outlook.com/?url=https%3A%2F%2Fwww.airbnb.com%2Frooms%2F11086620%3Fadults%3D1%26source_impression_id%3Dp3_1568327772_8fPijk%252F9%252FLVApT1W&data=02%7C01%7C%7C3e2ff246bdce44e6ac2008d7a67c7e7c%7C84df9e7fe9f640afb435aaaaaaaaaaaa%7C1%7C0%7C637160925953795987&sdata=zH872SR6MsFYo98VjxOSqOfSDwKmlVxry3Z3BAyoGWw%3D&reserved=0)

> [3D&reserved=0](https://nam11.safelinks.protection.outlook.com/?url=https%3A%2F%2Fwww.airbnb.com%2Frooms%2F11086620%3Fadults%3D1%26source_impression_id%3Dp3_1568327772_8fPijk%252F9%252FLVApT1W&data=02%7C01%7C%7C3e2ff246bdce44e6ac2008d7a67c7e7c%7C84df9e7fe9f640afb435aaaaaaaaaaaa%7C1%7C0%7C637160925953795987&sdata=zH872SR6MsFYo98VjxOSqOfSDwKmlVxry3Z3BAyoGWw%3D&reserved=0)

peterjweldon@outlook.com

From: InterestdCitizen <InterestdCitizen@protonmail.com>
Sent: Friday, March 19, 2021 9:36 AM
To: codecompliance; Keri Martin
Cc: CityManager; Randy Knight; George Wiggins
Subject: Re: [External] RE: [External] RE: AirBNB short term rental activity concerns within residential neighborhood
Attachments: image003.png; image001.jpg; image002.png

Dear code compliance,

Once again, we respectfully request the City to address Mr. Weaver's (Commission Seat # 4) continued disregard for the City Of Winter Park's code(s) and ordinance(s). It has come to our attention that the property owner at 1051 Lake Bell Drive continues to illegally rent the garage/storage structure to the immediate rear of main residence.

We have been advised that there have been several individuals occupying that garage/storage structure since at least December of 2020 with, as of yesterday, the current individual for there at least the past 2 weeks. The individual drives a silver Hyundai Florida tag # HXW-Z82.

regards

Sent with ProtonMail Secure Email.

----- Original Message -----

On Sunday, August 18, 2019 4:41 PM, George Wiggins <Gwiggins@cityofwinterpark.org> wrote:

> I refer you to Code Compliance for code enforcement matters.

>

> George Wiggins

>

> Sent from my iPad

>

>> On Aug 13, 2019, at 10:10 PM, "InterestdCitizen" InterestdCitizen@protonmail.com wrote:

>> [Caution: This email originated from outside the City of Winter Park

>> email system. Before clicking any hyperlinks contained in the email,

>> verify the real address by hovering over the link with your mouse. Do not open attachments from unknown or unverified sources.] Dear Mayor Leary and Mr. Knight, We respectfully request the City to address Mr.

Weaver's (Commission Seat # 4) continued disregard for the City Of Winter Park's code(s) and ordinance(s).

The address located at 1051 Lake Bell Drive is once again advertising the detached garage/storage structure on the property as an rental unit, this time utilizing

<https://na01.safelinks.protection.outlook.com/?url=http%3A%2F%2Fwww.zillow.comhttp%2F%2Fwww.zillow.com&data=04%7C01%7C%7Cb7310a53368a40c572d808d8eadbe4ce%7C84df9e7fe9f640afb435aaaaaa>

From: InterestdCitizen <InterestdCitizen@protonmail.com>
Sent: Sunday, October 3, 2021 4:41 PM
To: Keri Martin; Bonnie Storm
Cc: Code compliance; Randy Knight; CityManager; George Wiggins; cityclerk@cityofwinterpark.org; phil.anderson@cityofwinterpark.org; sdeciccio@cityofwinterpark.org; ccooper@cityofwinterpark.org
Subject: RE: AirBNB short term rental activity concerns within residential neighborhood

Dear City of Winter Park,

For the past four years or so we have communicated to various City departments, staff personnel and City Management of the historical as well as the continued disregard of City and County rules, ordinances, permitting and nonlegal rental activity of the garage structure located at 1051 Lake Bell Drive, Winter Park Florida 32789. Mr. Weaver (Commission Seat # 4) continues to have occupants in the garage structure located to the rear of the main residence. The garage structure was NOT permitted for human occupancy and may we also remind the City again that this is a single family zoned area.

We have been advised that the individual noted in prior email dated March 24th, 2021 was seen rolling her travel bags on Mr. Weaver's driveway entering into the main property's east side gate this afternoon. The individual drives a silver Hyundai Florida tag # HXW-Z82 which is parked on the street directly in front of the property located at 1051 Lake Bell Drive, Winter Park Florida 32789.

Mr. Weaver's (Commission Seat # 4) continued disregard for the City Of Winter Park's code(s) and ordinance(s) is unacceptable and needs to stop immediately.

We request the City's response with resolution to this issue no later then Tuesday October 5, 2021.

----- Original Message -----

On Wednesday, March 24th, 2021 at 1:30 PM, InterestdCitizen <InterestdCitizen@protonmail.com> wrote:

> We kindly request feedback of the City's findings and resolution for the open case.

>

> In follow up to the previous communication sent March 19, 2021. We have been advised that, as of this morning March 24, 2021, the individual occupying the specific structure is still on the property and has been there for at least the previous 3 weeks. The individual drives a silver Hyundai Florida tag # HXW-Z82 which is still parking on the street directly in front of the property located at 1051 Lake Bell Drive, Winter Park Florida 32789.

>

> ----- Original Message -----

>

> On Friday, March 19, 2021 4:01 PM, Bonnie Storm bstorm@cityofwinterpark.org wrote:

>

>> Good afternoon,

>>

From: InterestdCitizen <InterestdCitizen@protonmail.com>
Sent: Wednesday, October 6, 2021 6:32 PM
To: peter.weldon@winterparkperspective.org
Subject: Fw: RE: [External] RE: AirBNB short term rental activity concerns within residential neighborhood

Dear Mr. Weldon,

It appears the City of Winter Park is hesitant to address the ongoing noncompliance issues perpetuated by Mr. Weaver, a sitting commissioner.

Is it acceptable for a commissioner to continue to willingly choose to disregard or pick and choose which City rules and codes apply to their personal affairs?

This commissioner continues to make light of the Oath of Office he had to take during the swearing in ceremony.

We find it deeply troubling that the City does not find the ongoing situation problematic.

For example, doesn't this commissioner at the very least, sit in meetings where code and zoning matters are heard and voted on?

Regards

----- Original Message -----

On Monday, October 4th, 2021 at 5:35 PM, InterestdCitizen <InterestdCitizen@protonmail.com> wrote:

Dear Mr. Wiggins,

This is not a new issue. It is a continuation of the same ongoing and still unaddressed situation for at least the past four years.

Doesn't rental occupancy of non-permitted structure/property fit within the parameters of a public safety matter? Are the public safety departments (fire, police, etc.) aware of the occupancy status of the property in question? Where is the electrical, plumbing, mechanical and gas work permit? There are many unanswered questions.

To-date, the City has not provided authorized certificate of occupancy permit, certified notice of commencement and various other documents for the structure in question as requested. You previously communicated that there was no certificate of occupancy permit on record for the property/structure available with the City. Orange County also does not have a certificate of occupancy permit along with other permits on record for the structure in question. Orange County also does not have required permits on record for the numerous improvements performed over the years at the property address in question.

<https://cityofwinterpark.org/docs/departments/building-permitting-services/permit-application-forms-resources/guides-guidelines/residential-construction-permitting-plan-review.pdf>

If this situation is not addressed and resolved soon we shall explore all legal options up to and including reaching out to the State of Florida.

----- Original Message -----

On Monday, October 4th, 2021 at 1:57 AM, George Wiggins <Gwiggins@cityofwinterpark.org> wrote:

Under a recently passed Florida Statute effective July 1, 2021 local governments are prohibited from responding to anonymous complaints unless the name and address of the person filing the complaint is provided or if there is a public safety matter involved requiring a response by the local government.

George Wiggins

Sent from my Verizon, Samsung Galaxy smartphone

----- Original message -----

From: InterestdCitizen <InterestdCitizen@protonmail.com>

Date: 10/3/21 4:41 PM (GMT-05:00)

To: Keri Martin <kmartin@cityofwinterpark.org>, Bonnie Storm <bstorm@cityofwinterpark.org>

Cc: Code Compliance <codecompliance@cityofwinterpark.org>, Randy Knight <Rknight@cityofwinterpark.org>, CityManager <citymanager@cityofwinterpark.org>, George Wiggins <Gwiggins@cityofwinterpark.org>, Clerks Office <CityClerk@cityofwinterpark.org>, Phil Anderson <phil.anderson@cityofwinterpark.org>, Sheila DeCiccio <SDeCiccio@cityofwinterpark.org>, Carolyn Cooper <CCooper@cityofwinterpark.org>

Subject: [External] RE: AirBNB short term rental activity concerns within residential neighborhood

[Caution: This email originated from outside the City of Winter Park email system. Before clicking any hyperlinks, verify the real address by hovering over the link. Do not open attachments from unknown or unverified sources.]

Dear City of Winter Park,

For the past four years or so we have communicated to various City departments, staff personnel and City Management of the historical as well as the continued disregard of City and County rules, ordinances, permitting and nonlegal rental activity of the garage structure located at 1051 Lake Bell Drive, Winter Park Florida 32789. Mr. Weaver (Commission Seat # 4) continues to have occupants in the garage structure located to the rear of the main residence. The garage structure was NOT permitted for human occupancy and may we also remind the City again that this is a single family zoned area.

We have been advised that the individual noted in prior email dated March 24th, 2021 was seen rolling her travel bags on Mr. Weaver's driveway entering into the main property's east side gate this afternoon. The individual drives a silver Hyundai Florida tag # HXW-Z82 which is parked on the street directly in front of the property located at 1051 Lake Bell Drive, Winter Park Florida 32789.

Mr. Weaver's (Commission Seat # 4) continued disregard for the City Of Winter Park's code(s) and ordinance(s) is unacceptable and needs to stop immediately.

We request the City's response with resolution to this issue no later then Tuesday October 5, 2021.

----- Original Message -----

On Wednesday, March 24th, 2021 at 1:30 PM, InterestdCitizen
<InterestdCitizen@protonmail.com> wrote:

> We kindly request feedback of the City's findings and resolution for the open case.
>
> In follow up to the previous communication sent March 19, 2021. We have been advised that, as of this morning March 24, 2021, the individual occupying the specific structure is still on the property and has been there for at least the previous 3 weeks. The individual drives a silver Hyundai Florida tag # HXW-Z82 which is still parking on the street directly in front of the property located at 1051 Lake Bell Drive, Winter Park Florida 32789.

>
> ----- Original Message -----

>
> On Friday, March 19, 2021 4:01 PM, Bonnie Storm bstorm@cityofwinterpark.org wrote:
>
>> Good afternoon,
>>
>> A case has been opened to address the concern detailed below. Please contact 407-599-3600 for additional information.

>>
>> Thank you,
>>
>> Bonnie Storm
>>
>> Administrative Coordinator
>>
>> Safety & Code Compliance
>>
>> City of Winter Park
>>

peterjweldon@outlook.com

From: InterestdCitizen <InterestdCitizen@protonmail.com>
Sent: Tuesday, October 12, 2021 4:01 PM
To: Peter Weldon
Subject: RE: RE: [External] RE: AirBNB short term rental activity concerns within residential neighborhood

Mr. Weldon,

We should not have to divulge our identities to communicate questionable behavior by a public person. The repeated behavioral pattern can be readily determined and pursued by competent government agencies and their personnel. The evidence is readily available historically, logically, physically, visually and within the various responsible agencies' data bases. Needless to state, but without permits being pulled and approved agencies would be hard pressed to accurately access that changes to property are to code and apply appropriate tax assessment valuation for the improvements to property.

Correction, the area was annexed by Winter Park in 2003, not in 2005.

<https://cityofwinterpark.org/docs/government/ordinances-resolutions/2002-08.pdf>

The Orange County property appraiser's website link also provides aerial pictorial history for the property's progression from 2005 until now. The picture (pasted below) within the link which follows shows that the main residence still had a carport as of May 2005. The carport shows up as an enclosed garage in the 2007 picture. Keep in mind that this is just one example.

<https://maps.ocpafl.org/ObliqueView/Default.aspx?pid=292202006503040>



regards

----- Original Message -----

On Tuesday, October 12th, 2021 at 12:57 PM, Peter Weldon <peterjweldon@outlook.com> wrote:

I appreciate and share your concerns.

The only way I can see to address what are most likely Mr. Weaver's non compliance with code and lies is for someone with first hand knowledge to prosecute the issues in court, testifying under oath along with Mr. Weaver.

I do not expect the city to take enforcement actions against a sitting commissioner.

Presuming you have first hand knowledge of the claims below, I would be willing to assist should you be willing to come forward and prosecute the claims.

Regards, Pete Weldon

From: InterestdCitizen <InterestdCitizen@protonmail.com>
Sent: Monday, October 11, 2021 8:21 PM
To: Peter Weldon <peterjweldon@outlook.com>
Subject: RE: RE: [External] RE: AirBNB short term rental activity concerns within residential neighborhood

Mr. Weldon,

1. The understanding is that Mr. Weaver did convert the prior smaller freestanding structure into a unfinished garage/storage building. However, this structure was not permitted at the time for human occupancy including kitchen, bathroom with shower, sleeping quarters, etc. Note that the neighborhood is on septic tank system, the freestanding structure in question was not tied to the property's septic system. Where is the permit for this activity? The upgrades to that freestanding structure in question as well as to the main residence were performed long after this area was annexed into Winter Park when it occurred back in 2005. That freestanding structure was still functioning as a 2 car garage/workshop well past past 2010. To-date, zero evidence has been provided to substantiate that it was permitted to do so prior to 2005 or even after. In fact, permits were not pulled for upgrades to the main residential structure. For example, Mr. Weaver converted the one carport space in the front facing the street into an enclosed garage without a permit. There was no wall to the east or a garage door to the south.

It shouldn't be that much of a challenge for competent code and permitting personnel to identify age, traceability, etc., of installed components/materials.

We find it farfetched and rather amusing receiving communication as being grandfathered into the City after annexation. Mr. Weaver is in essence conveying that Orange County government is/or has been incompetent when it comes to record retention for crucial documents such as building permits, inspections, notice of commencement, electrical, plumbing, mechanical and gas work permit, certificate of occupancy, engineer's stamp of approval(s) for plans, etc.

2. Mr. Weaver continues to have occupants stay in that free standing structure. The specific vehicle descriptions and tag #s have been previously provided. He had numerous non-family members stay in the freestanding structure even after being told not to do so by the City.

----- Original Message -----

On Friday, October 8th, 2021 at 11:30 AM, Peter Weldon <peterjweldon@outlook.com> wrote:

There are two issues:

1. I believe Weaver built out his accessory building with a kitchen after his property was annexed into Winter Park in 2005. He did so without obtaining the needed permits and such a free standing structure with a kitchen and bath is not permitted on residential property. Weaver claims he built this out prior to being annexed and is therefore grandfathered. Prior to annexation he obtained some electrical permits from Orange County for a pre-existing freestanding structure but that's it. The owner of the home to his north has told me Weaver built it himself around 2000. But still, there is no hard evidence of his breaking the laws he is now sworn to uphold.

2. City code allows for renting residential property under a lease for no less than 30 days. If someone can document that his tenants come and go within 30 days then the city is obligated enforce the code and a public issue can be made of his behavior.

Regards, Pete Weldon

From: InterestdCitizen <InterestdCitizen@protonmail.com>
Sent: Wednesday, October 6, 2021 6:32 PM
To: peter.weldon@winterparkperspective.org
Subject: Fw: RE: [External] RE: AirBNB short term rental activity concerns within residential neighborhood

Dear Mr. Weldon,

It appears the City of Winter Park is hesitant to address the ongoing noncompliance issues perpetuated by Mr. Weaver, a sitting commissioner.

Is it acceptable for a commissioner to continue to willingly choose to disregard or pick and choose which City rules and codes apply to their personal affairs?

This commissioner continues to make light of the Oath of Office he had to take during the swearing in ceremony.

We find it deeply troubling that the City does not find the ongoing situation problematic.

For example, doesn't this commissioner at the very least, sit in meetings where code and zoning matters are heard and voted on?

Regards

----- Original Message -----

On Monday, October 4th, 2021 at 5:35 PM, InterestdCitizen
<InterestdCitizen@protonmail.com> wrote:

Dear Mr. Wiggins,

This is not a new issue. It is a continuation of the same ongoing and still unaddressed situation for at least the past four years.

Doesn't rental occupancy of non-permitted structure/property fit within the parameters of a public safety matter? Are the public safety departments (fire, police, etc.) aware of the occupancy status of the property in question? Where is the electrical, plumbing, mechanical and gas work permit? There are many unanswered questions.

To-date, the City has not provided authorized certificate of occupancy permit, certified notice of commencement and various other documents for the structure in question as requested. You previously communicated that there was no certificate of occupancy permit on record for the property/structure available with the City. Orange County also does not have a certificate of occupancy permit along with other permits on record for the structure in question. Orange County also does not have required permits on record for the numerous improvements performed over the years at the property address in question.

<https://cityofwinterpark.org/docs/departments/building-permitting-services/permit-application-forms->

[resources/guides-guidelines/residential-construction-permitting-plan-review.pdf](#)

If this situation is not addressed and resolved soon we shall explore all legal options up to and including reaching out to the State of Florida.

----- Original Message -----

On Monday, October 4th, 2021 at 1:57 AM, George Wiggins <Gwiggins@cityofwinterpark.org> wrote:

Under a recently passed Florida Statute effective July 1, 2021 local governments are prohibited from responding to anonymous complaints unless the name and address of the person filing the complaint is provided or if there is a public safety matter involved requiring a response by the local government.

George Wiggins

Sent from my Verizon, Samsung Galaxy smartphone

----- Original message -----

From: InterestdCitizen
<InterestdCitizen@protonmail.com>

Date: 10/3/21 4:41 PM (GMT-05:00)

To: Keri Martin <kmartin@cityofwinterpark.org>,
Bonnie Storm <bstorm@cityofwinterpark.org>

Cc: Code Compliance
<codecompliance@cityofwinterpark.org>, Randy
Knight <Rknight@cityofwinterpark.org>,
CityManager <citymanager@cityofwinterpark.org>,
George Wiggins <Gwiggins@cityofwinterpark.org>,
Clerks Office <CityClerk@cityofwinterpark.org>,
Phil Anderson
<phil.anderson@cityofwinterpark.org>, Sheila
DeCiccio <SDeCiccio@cityofwinterpark.org>,
Carolyn Cooper <CCooper@cityofwinterpark.org>

Subject: [External] RE: AirBNB short term rental
activity concerns within residential neighborhood

[Caution: This email originated from outside the City of
Winter Park email system. Before clicking any hyperlinks,
verify the real address by hovering over the link. Do not
open attachments from unknown or unverified sources.]

Dear City of Winter Park,

For the past four years or so we have communicated to
various City departments, staff personnel and City
Management of the historical as well as the continued
disregard of City and County rules, ordinances, permitting
and nonlegal rental activity of the garage structure located
at 1051 Lake Bell Drive, Winter Park Florida 32789. Mr.
Weaver (Commission Seat # 4) continues to have occupants
in the garage structure located to the rear of the main
residence. The garage structure was NOT permitted for
human occupancy and may we also remind the City again
that this is a single family zoned area.

We have been advised that the individual noted in prior email dated March 24th, 2021 was seen rolling her travel bags on Mr. Weaver's driveway entering into the main property's east side gate this afternoon. The individual drives a silver Hyundai Florida tag # HXW-Z82 which is parked on the street directly in front of the property located at 1051 Lake Bell Drive, Winter Park Florida 32789.

Mr. Weaver's (Commission Seat # 4) continued disregard for the City Of Winter Park's code(s) and ordinance(s) is unacceptable and needs to stop immediately.

We request the City's response with resolution to this issue no later than Tuesday October 5, 2021.

----- Original Message -----

On Wednesday, March 24th, 2021 at 1:30 PM,
InterestdCitizen <InterestdCitizen@protonmail.com> wrote:

> We kindly request feedback of the City's findings and resolution for the open case.

>

> In follow up to the previous communication sent March 19, 2021. We have been advised that, as of this morning March 24, 2021, the individual occupying the specific structure is still on the property and has been there for at least the previous 3 weeks. The individual drives a silver Hyundai Florida tag # HXW-Z82 which is still parking on the street directly in front of the property located at 1051 Lake Bell Drive, Winter Park Florida 32789.

>

> ----- Original Message -----

>

> On Friday, March 19, 2021 4:01 PM, Bonnie Storm
bstorm@cityofwinterpark.org wrote:

>

>> Good afternoon,

>>

>> A case has been opened to address the concern detailed below. Please contact 407-599-3600 for additional information.

>>

>> Thank you,

>>

>> Bonnie Storm

>>

>> Administrative Coordinator

>>

>> Safety & Code Compliance

>>

>> City of Winter Park

>>

>> 401 South Park Avenue

>>

>> Winter Park, FL 32789

>>

>> cityofwinterpark.org

>>

>> 407.599.3600

>>

>> -----Original Message-----

>>

>> From: InterestdCitizen InterestdCitizen@protonmail.com

>>

>> Sent: Friday, March 19, 2021 9:36 AM

>>

>> To: Code compliance
codecompliance@cityofwinterpark.org; Keri Martin
kmartin@cityofwinterpark.org

>>

>> Cc: CityManager citymanager@cityofwinterpark.org;
Randy Knight Rknight@cityofwinterpark.org; George Wiggins
Gwiggins@cityofwinterpark.org

>>

>> Subject: [External] Re: [External] RE: [External] RE:
AirBNB short term rental activity concerns within
residential neighborhood

>>

>> [Caution: This email originated from outside the City of
Winter Park email system. Before clicking any hyperlinks,
verify the real address by hovering over the link. Do not
open attachments from unknown or unverified sources.]

>>

>> Dear code compliance,

>>

>> Once again, we respectfully request the City to address
Mr. Weaver's (Commission Seat # 4) continued disregard for
the City Of Winter Park's code(s) and ordinance(s). It has
come to our attention that the property owner at 1051 Lake
Bell Drive continues to illegally rent the garage/storage
structure to the immediate rear of main residence.

>>

>> We have been advised that there have been several
individuals occupying that garage/storage structure since at
least December of 2020 with, as of yesterday, the current
individual for there at least the past 2 weeks. The individual
drives a silver Hyundai Florida tag # HXW-Z82.

>>

>> regards

>>

>> Sent with ProtonMail Secure Email.

>>

>> ----- Original Message -----

>>

>> On Sunday, August 18, 2019 4:41 PM, George Wiggins
Gwiggins@cityofwinterpark.org wrote:

>>

>>> I refer you to Code Compliance for code enforcement matters.

>>>

>>> George Wiggins

>>>

>>> Sent from my iPad

>>>

>>>> On Aug 13, 2019, at 10:10 PM, "InterestdCitizen"
InterestdCitizen@protonmail.com wrote:

>>>>

>>>> [Caution: This email originated from outside the City of Winter Park

>>>>

>>>> email system. Before clicking any hyperlinks contained in the email,

>>>>

>>>> verify the real address by hovering over the link with your mouse. Do not open attachments from unknown or unverified sources.] Dear Mayor Leary and Mr. Knight, We respectfully request the City to address Mr. Weaver's (Commission Seat # 4) continued disregard for the City Of Winter Park's code(s) and ordinance(s). The address located at 1051 Lake Bell Drive is once again advertising the detached garage/storage structure on the property as an

rental unit, this time utilizing www.zillow.com<http://www.zillow.com>. This detached garage/storage structure was extensively improved and converted to a "cottage", without proper permits, to specifically function as a rental unit. The direct web link to the advertisement is https://www.zillow.com/homedetails/Lake-Bell-Dr-Winter-Park-FL-32789/2129120598_zpid/. The property manager referenced on the listing is a Margie Bridges who appears to be a licensed property agent. Would this be the same Margie Bridges, a past Winter Park Commissioner that also endorsed Mr. Weaver for commission seat # 4?

>>>>

>>>> To-date, official records have not been provided which substantiate that all applicable permits were pulled and completed successfully from each of the respective governing agency for the numerous horizontal and/or vertical structural changes and/or improvements occurring at the referenced property prior to 2019. The majority of these changes or conversions, for all structures onsite including the "cottage", occurred after its annexation by the City of Winter Park in 2004.

>>>>

>>>> While the City is following up with Mr. Weaver, please address the

>>>>

>>>> continued AirBnB rental activity with the neighbor immediately next

>>>>

>>>> door to 1051 Lake Bell Drive. We were advised that the City has

>>>>

>>>> addressed the issue with this property owner on several occasions,

>>>>

>>>> however it appears that the City's communication(s) have not been

>>>>

>>>> taken seriously. The web link which follows is for
1045 LAKE BELL

>>>>

>>>> DR.

[https://www.airbnb.com/rooms/11086620?location=winter
park](https://www.airbnb.com/rooms/11086620?location=winterpark)

>>>>

>>>>

florida&source_impression_id=p3_1565745305_cjQ5v3fRvCOL
9nPW&s=YSktpI

>>>>

>>>> B6 What is required to do halt the not allowed rental
activity

>>>>

>>>> permanently within the SINGLE FAMILY zoned
neighbor?

>>>>

>>>> Does the issue need to be escalated elsewhere?

>>>>

>>>> We once again respectfully request the City to
address the communicated issue(s).

>>>>

>>>> regards

>>>>

>>>> Concerned and InterestdCitizen

>>>>

>>>> ----- Original Message -----

>>>>

>>>> On Monday, July 1, 2019 6:28 PM, Keri Martin
kmartin@cityofwinterpark.org wrote:

>>>>

>>>> Good afternoon,

>>>>

>>>> The property at 1051 Lake Bell Drive is no longer advertised on Airbnb.

>>>>

>>>> Two additional properties on Lake Bell Drive are currently in process with Code Compliance.

>>>>

>>>> Sincerely,

>>>>

>>>> Keri

>>>>

>>>> Keri Martin, Division Director

>>>>

>>>> Risk, Safety & Fleet Services

>>>>

>>>> City of Winter Park

>>>>

>>>> 401 S. Park Avenue

>>>>

>>>> Winter Park, FL 32789

>>>>

>>>> Tel: 407.599.3390

>>>>

>>>> Fax: 407.691.6589

>>>>

>>>> From: InterestdCitizen
InterestdCitizen@protonmail.com

>>>>

>>>> Sent: Wednesday, June 26, 2019 10:58 PM

>>>>

>>>> To: George Wiggins Gwiggins@cityofwinterpark.org

>>>>

>>>> Cc: CityManager citymanager@cityofwinterpark.org;
Steven Leary

>>>>

>>>> Sleary@cityofwinterpark.org; Keri Martin

>>>>

>>>> kmartin@cityofwinterpark.org; Randy Knight

>>>>

>>>> Rknight@cityofwinterpark.org

>>>>

>>>> Subject: [External] RE: AirBNB short term rental
activity concerns

>>>>

>>>> within residential neighborhood

>>>>

>>>> [Caution: This email originated from outside the City
of Winter Park

>>>>

>>>> email system. Before clicking any hyperlinks
contained in the email,

>>>>

>>>> verify the real address by hovering over the link with
your mouse. Do not open attachments from unknown or
unverified sources.] Mr. Wiggins, Thank you for the
response.

>>>>

>>>> It appears that Mr. Weaver continues to project a less than transparent mannerism. Was an inquiry put to Mr. Weaver why the continued rental of the detached garage / storage structure to AirBnB respondents of his re-posted advertisement when he communicated back in December 2018 / January 2019 that the advertisement was going to be closed? Does Mr. Weaver still remain uncertain about the "rules" almost one year later? Readily available public information records confirm that Mr. Weaver spoke in front of City Commission on July 9, 2018 about this specific topic (AirBnB, short-term rental, etc.).

>>>>

>>>> We have been advised that the AirBnB renters / individual(s) are still on the property located at 1051 Lake Bell Drive and have been for the past couple of weeks. These specific renter(s) / individual(s) drive a Toyota Rav4, light greenish / teal-ish in color, New York license plate # JBH-8923. We recommend City personnel physically inspect the property tomorrow morning (6/27/2019) and inquire directly with Mr. Weaver about continued rental activity of the non-permitted detached garage / storage structure located on the property.

>>>>

>>>> We are still waiting on the City's response to Mr. Weaver's continued utilization of non-permitted structure(s) as rental property, regardless of where or how it is advertised as such.

>>>>

>>>> Please refrain from utilizing the "grandfathered in" verbiage. We are cognizant that multitude of property and structure improvements occurring over the years have not been properly permitted, official records have not been provided to-date which substantiate proper permits were issued and completed; these weren't properly permitted while the property was still within unincorporated Orange County prior to; and weren't permitted after property's annexation into Winter Park. Recollect that you confirmed the City does not possess permits for the observed subterranean, horizontal / vertical property and structural improvements.

>>>>

>>>> We once again respectfully request the City address the continued issues with this "Commissioner" poste haste.

>>>>

>>>> regards

>>>>

>>>> Concerned and InterestdCitizen

>>>>

>>>> ----- Original Message -----

>>>>

>>>> On Friday, June 14, 2019 2:23 PM, George Wiggins
<Gwiggins@cityofwinterpark.org> wrote:

>>>>

>>>> In response to your inquiry, I have contacted the owner at 1051 Lake Bell Drive regarding use of the property for rental as an AirBNB. The owner stated that this site was revised to show no dates available, which I confirmed when I pulled it up. In addition, it was stated that the site is to be removed entirely. If you pull up the web address of the site below, it does appear that the site reflecting 1051 Lake Bell Drive has been removed.

>>>>

>>>> With regard to the property you identified at 1045 Lake Bell, I have asked our Code Compliance office to investigate this property which I understand they have done in the past and addressed non-compliance issues in this area.

>>>>

>>>> With regard to your question regarding short term rentals, there has not been any change in the City's Code authorizing short term rentals under 30 days.

>>>>

>>>> [[cid:image001.jpg@01D434C6.FE720040](#)]

>>>>

>>>> City of Winter Park

>>>>

>>>> 401 Park Ave. South

>>>>

>>>> Winter Park, FL. 32789

>>>>

>>>> cityofwinterpark.orghttp://cityofwinterpark.org

>>>>

>>>> George Wiggins

>>>>

>>>> Director of Bldg/Legis Affairs

>>>>

>>>> Building & Permitting Services

>>>>

>>>> 407.599.3426

>>>>

>>>> From: InterestdCitizen

>>>>

>>>>

<InterestdCitizen@protonmail.commailto:InterestdCitizen@protonmail.c

>>>>

>>>> om>

>>>>

>>>> Sent: Wednesday, June 12, 2019 10:39 PM

>>>>

>>>> To: George Wiggins

>>>>

>>>>

<Gwiggins@cityofwinterpark.orgmailto:Gwiggins@cityofwinterpark.org>

>>>>

>>>> Cc: CityManager

>>>>

>>>>

<citymanager@cityofwinterpark.orgmailto:citymanager@cityof
winterpark

>>>>

>>>> .org>; Steven Leary

>>>>

>>>>

<[Sleary@cityofwinterpark.orgmailto:Sleary@cityofwinterpark.
org](mailto:Sleary@cityofwinterpark.org)>;

>>>>

>>>> Keri Martin

>>>>

>>>>

<[kmartin@cityofwinterpark.orgmailto:kmartin@cityofwinterpar
k.org](mailto:kmartin@cityofwinterpark.org)>

>>>>

>>>> Subject: RE: AirBNB short term rental activity
concerns within

>>>>

>>>> residential neighborhood Dear Mr. Wiggins and Ms.
Martin, We

>>>>

>>>> received out of office notifications from both of you
when follow up communication was sent on May 24, 2019.

>>>>

>>>> What is the status for the request(s) of the
identified issues herein?

>>>>

>>>> Note that rental activity continues unabated to-date at the two single family zoned residential properties previously identified (1051 and 1045 Lake Bell Drive). Occupant activity (non-resident foreign tagged vehicle(s)) continues at 1051 Lake Bell Drive in the non-permitted detached garage structure in question even though it appears that Mr Weaver has (once again) removed the AirBnB rental advertisement from the website. Furthermore, we are all cognizant that insufficient evidence exists or has yet to be provided which definitively confirms that the identified property / structures located at 1051 Lake Bell Drive were properly permitted for such occupancy or rental activity as well as to support the multitude of horizontal and vertical structural improvements occurring over the years. Unless we are mistaken or a "special" variance was obtained by Mr. Weaver, the neighborhood is still zoned Single Family Residence.

>>>>

>>>> Its problematic when some citizens/residents may repeatably decline to follow rules we are supposed to adhere with, however its especially concerning when the individual doing so happens to be a "public representative."

>>>>

>>>> Please address to permanently halt the identified issues / rental activities.

>>>>

>>>> regards

>>>>

>>>> Concerned and InterestdCitizen

>>>>

>>>> ----- Original Message -----

>>>>

>>>> On Friday, May 24, 2019 4:52 PM, InterestdCitizen <InterestdCitizen@protonmail.com> wrote:

>>>>

>>>> Mr. Wiggins,

>>>>

>>>> Thank you for the follow up response confirming statement(s) attributed to you by Mr. Weaver are inaccurate.

>>>>

>>>> Did Winter Park recently change the short-term (AIRBNB) rental ordinances and rules? Please advise that such change(s) to the City ordinances have not occurred. We are adamantly opposed to short-term rental activity within single-family residential neighborhoods.

>>>>

>>>> Concerns are once again raised as the previously reported AirBNB activities continues unabated on Lake Bell Drive. Two of the previously reported properties, located at 1051 and 1045 Lake Bell Drive, are listed on AirBNB with non-owner occupants currently on premises. Based on the recent reviews contained within the AirBNB advertisement links which follow, the activity appears to have continued since you and Ms. Martin advised that City personnel addressed the issue with the respective property owners.

>>>>

>>>>
<https://www.airbnb.com/rooms/14711105?location=Winter Park>

>>>>

>>>>
florida&adults=1&source_impression_id=p3_1558570702_RY7p%2F7haS8FrDR

>>>>

>>>> k0&guests=1&sl_alternate_dates_exclusion=true

>>>>

>>>>
<https://www.airbnb.com/rooms/11086620?location=Winter Park>

>>>>

>>>>
florida&adults=1&children=0&checkin=&checkout=&source_impression_id=

>>>>

>>> p3_1558568451_dVLWKEPVLRUAbLNs Furthermore,
Mr. Weaver has not

>>>

>>>> refrained from utilizing the detached garage/storage
structure as a

>>>>

>>>> rental unit on AIRBNB after concerns of its
continued usage as such

>>>>

>>>> were raised with the City last year. In fact, the
individual

>>>>

>>>> continued to use the premises for short-term
AIRBNB rental

>>>>

>>>> activities after speaking in front of the City
Commission on July 9,

>>>>

>>>> 2018 requesting consideration for a compromise to
allow short-term

>>>>

>>>> rentals for those who are homestead on their
homes. Refer to Public

>>>>

>>>> Comments [items not on the agenda] regarding Air
BandB's topic where

>>>>

>>>> "He asked that the Commission also consider a
compromise."

>>>>

>>>> [https://cityofwinterpark.org/docs/government/city-
commission/minutes](https://cityofwinterpark.org/docs/government/city-commission/minutes)

>>>>

>>>> /min-2018-07-09.pdf Would the City kindly reinforce to the property

>>>>

>>>> owner to refrain from utilizing non-permitted structure(s) as rental unit(s) and abide by City rules? We adamantly protest short-term rental activity in single-family residential neighborhoods completely unsuitable for such business related activities and contrary to local ordinances and zoning. If an individual aspires to own a motel business they can certainly do so at locations elsewhere which are designated for such activities.

>>>>

>>>> Recap of prior communications, official documentation has yet to be produced for the numerous property and structure improvements/modifications at 1051 Lake Bell Drive to conclusively and definitively substantiate all required permits were pulled and completed over the years. You previously communicated that Winter Park does not have the records to support all of observed improvements. You also expressed that that such activity would be considered as "grandfathered in since the the owner communicated to you that the structural improvements occurred while the property was still within unincorporated Orange County. Once again, we respectfully dispute that communicated statement and without the proper documentation to support the observed property improvements, we remain skeptical. Orange County does not appear to have the official records to substantiate the structure improvements on the property. As previously communicated, many of the observed property improvements occurred well after annexation into Winter Park. We are also cognizant that many residential items and building materials require manufacturers' specifications to be readily available which are utilized to meet local building code(s) as well as for traceability purposes. Mapping services as well as other such technology, including those within the City of Winter Park, Orange County and Orange County property appraiser's web link, exist to provide historical snapshots of the property over the years. Regardless of the available technologies, government agencies are required to issue and maintain applicable official permitting records for all required property changes necessitating such documents.

>>>>

>>>> Utilizing readily available public information, including the property owner's political campaign information, it is

surprising that basic knowledge of the City's ordinance, permitting and zoning requirements would be so lacking by the property owner. Would it not be reasonable to surmise that a "past Orange County Lakes Advisory Board and Past Chairman of Winter Park Lakes and Waterways Advisory Board" would be well-versed with requirements? Particularly when considering that the individual states the following; "has held a Florida General Contractor license for nearly 30 years and has redeveloped multiple residential and commercial properties in Florida, while never asking for variances or zoning changes."

>>>>

>>>> In summary, questions as follows;

>>>>

>>>> Where are all the required permit(s), official documentation with all applicable signatures, stamps and approvals required from each respective agency of record at the time of the noted improvements?

>>>>

>>>> Did the current owner of the property or applicable licensed contractor/professional pull required permits prior to the electrical, mechanical, structural changes?

>>>>

>>>> Has the current owner of 1051 Lake Bell Drive historically utilized real property as AIRBNB or otherwise rental premises which has not been permitted for such activities?

>>>>

>>>> Is the current owner of 1051 Lake Bell Drive continuing to utilize the detached garage/storage structure as rental structure ("cottage")?

>>>>

>>>> What corrective action(s) is the City pursuing to remedy the situation described herein?

>>>>

>>>> Has the City provided a variance to the current property owner allowing the referenced "cottage" structure to be utilized as a rental unit?

>>>>

>>>> regards

>>>>

>>>> Concerned and InterestdCitizen

>>>>

>>>> ----- Original Message -----

>>>>

>>>> On Sunday, April 7, 2019 7:33 PM, George Wiggins
<Gwiggins@cityofwinterpark.orgmailto:Gwiggins@cityofwinterpark.org> wrote:

>>>>

>>>> In response to your inquiry, let me assure you that actions regarding this matter are being taken in the same manner as we would follow with any citizen and in accordance with the advice of our City Attorney.

>>>>

>>>> With regard to the statement attributed to me: "There are no ordinance, code, usage, permitting or any other violations per George Wiggins;" I have never made such statement with regard to the subject property that you are addressing.

>>>>

>>>> As with all matters under review with regard to building or zoning violations, it is my intent to fairly and accurately enforce the codes and ordinances of the City to the greatest extent possible.

>>>>

>>>> Thank you for your comments and observations made on this matter.

>>>>

>>>> Respectfully,

>>>>

>>>> George Wiggins

>>>>

>>>> [\[cid:image001.jpg@01D434C6.FE720040\]](#)

>>>>

>>>> City of Winter Park

>>>>

>>>> 401 Park Ave. South

>>>>

>>>> Winter Park, FL. 32789

>>>>

>>>> cityofwinterpark.org<http://cityofwinterpark.org>

>>>>

>>>> George Wiggins

>>>>

>>>> Director of Bldg/Legis Affairs

>>>>

>>>> Building & Permitting Services

>>>>

>>>> 407.599.3426

>>>>

>>>> From: InterestdCitizen

>>>>

>>>>

<InterestdCitizen@protonmail.com[mailto:InterestdCitizen@protonmail.c](mailto:InterestdCitizen@protonmail.com)

>>>>

>>>> om>

>>>>

>>>> Sent: Friday, April 5, 2019 4:51 PM

>>>>

>>>> To: George Wiggins

>>>>

>>>>

<Gwiggins@cityofwinterpark.orgmailto:Gwiggins@cityofwinterpark.org>

>>>>

>>>> Subject: RE: AirBNB short term rental activity concerns within

>>>>

>>>> residential neighborhood Mr Wiggins, Considering Mr. Weaver conveys

>>>>

>>>> that he has been a licensed Florida Contractor for 30 years it would add to the duplicity if the improvements weren't to code. However, the questions do not necessarily pertain to whether Mr. Weaver followed code when performing all construction improvements to the property over the years. The questions(s) have been and still are, where are the all permits for the construction, electrical, mechanical, roofing, etc., improvements performed over the years? How is it that three separate agencies; Orange County property appraiser, Orange County permitting including Winter Park have not yet provided or cannot provide evidence that such permits are available on file?

>>>>

>>>> The gentleman is running for election to serve as a City Commissioner on seat # 4, and was a "past Orange County Lakes Advisory Board and Past Chairman of Winter Park Lakes and Waterways Advisory Board". We are aware most of the changes/improvements to the subject property occurred after its annexation into Winter Park in 2004. Thus, we are confused, if all required permits have yet to be conclusively and definitively substantiated, how was the gentleman able to convey the following statement which is attributed to you, "There are no ordinance, code, usage, permitting or any other violations per George Wiggins."?

>>>>

>>>> You should be aware that Google mapping services as well as other such technology, including those within Orange County property appraiser's web link, exist to provide historical snapshots of the property over the years. Absence of these available technologies, agencies are non-the-less required to issue and maintain applicable permitting records for all required property changes necessitating such documents.

>>>>

>>>> The following are just a few structure changes/improvements

>>>>

>>>> requiring issuance of necessary permits; New roofing.

>>>>

>>>> Converting the one vehicle carport on the main structure into an enclosed garage.

>>>>

>>>> Extending the roof line to the rear on the main structure (east side) most likely during the carport's conversion into an enclosed garage.

>>>>

>>>> Converting the rear detached shed/storage/garage building into a habitable property including kitchen, bathroom /shower, central air conditioning, sleeping quarters, etc., and utilized as a rental.

>>>>

>>>> Numerous exterior improvements to the building structures, central air conditioning, under grounding of main power feed line from utility service pole to the main house, sidewalks to the side and rear of the property, second concrete driveway to the street to the west of the property, etc.

>>>>

>>>> The following illustration(s) are just a few available for public consumption, to the left is available within the Orange County Property Appraiser's website. The illustration depicts the east side of the main property where the roof does not extend towards the rear of the

structure. The picture to the right also comes from the Orange County Property Appraiser's website and clearly depicts the roof line extended to the rear of the building. In fact there is a clear outline which shows that this area has a newer roof line when compared to rest of the "new roof". There is also a new A/C condenser unit to the rear of the property on west side as is highlighted in the picture to the right (this unit was not visible in the 2007 picture, but is in the 2008 picture as shown herein).

>>>>

>>>>

[cid:image002.png@01D52297.D793C750][cid:image003.png@01D52297.D793C

>>>>

>>>> 750]

>>>>

>>>> ----- Original Message -----

>>>>

>>>> On Wednesday, April 3, 2019 12:39 PM, George Wiggins <Gwiggins@cityofwinterpark.org> wrote:

>>>>

>>>> We are treating this resident in a similar manner as we would any citizen and it is my understanding that the property does not currently have a Zoning violation with a rental accessory structure. As with any code violation, we will follow up with all due diligence. If any unpermitted construction work was conducted then that issue will need to be resolved as well. Additionally, all appropriate action in conferring with our City Attorney has been followed.

>>>>

>>>> [cid:image001.jpg@01D434C6.FE720040]

>>>>

>>>> City of Winter Park

>>>>

>>>> 401 Park Ave. South

>>>>

>>>> Winter Park, FL. 32789

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>>>> cityofwinterpark.orghttp://cityofwinterpark.org

>>>>

>>>> George Wiggins

>>>>

>>>> Director of Bldg/Legis Affairs

>>>>

>>>> Building & Permitting Services

>>>>

>>>> 407.599.3426

>>>>

>>>> From: InterestdCitizen

>>>>

>>>>

<InterestdCitizen@protonmail.commailto:InterestdCitizen@protonmail.c

>>>>

>>>> om>

>>>>

>>>> Sent: Tuesday, April 2, 2019 5:49 PM

>>>>

>>>> To: George Wiggins

>>>>

>>>>

<Gwiggins@cityofwinterpark.orgmailto:Gwiggins@cityofwinterpark.org>

>>>>

>>>> Subject: RE: AirBNB short term rental activity concerns within

>>>>

>>>> residential neighborhood Dear Mr Wiggins, Its been 2 weeks since you

>>>>

>>>> last communicated. What is the City's solution to the concerns raised about Mr Weaver's potential ethics dilemma? The questions raised could be answered if definitive evidence was produced to confirm that all applicable permits were issued and closed for all the physical property improvements. Is it possible that because the individual has held a Florida contractor's license for so long that its appropriate to make the improvements to their own property without issuance of the proper permits?

>>>>

>>>> Regards

>>>>

>>>> InterestdCitizen

>>>>

>>>> ----- Original Message -----

>>>>

>>>> On Wednesday, March 20, 2019 8:21 AM, George Wiggins <Gwiggins@cityofwinterpark.org> wrote:

>>>>

>>>> I will be taking up this matter with our City Attorney for future guidance and suggestions. As I mentioned we have pulled up our records of permit activity on this property and forwarded that information to you.

>>>>

>>>> [[cid:image001.jpg@01D434C6.FE720040](#)]

>>>>

>>>> City of Winter Park

>>>>

>>>> 401 Park Ave. South

>>>>

>>>> Winter Park, FL. 32789

>>>>

>>>> cityofwinterpark.org<http://cityofwinterpark.org>

>>>>

>>>> George Wiggins

>>>>

>>>> Director of Bldg/Legis Affairs

>>>>

>>>> Building & Permitting Services

>>>>

>>>> 407.599.3426

>>>>

>>>> From: InterestdCitizen

>>>>

>>>>

<InterestdCitizen@protonmail.com[mailto:InterestdCitizen@protonmail.c](mailto:InterestdCitizen@protonmail.com)

>>>>

>>>> om>

>>>>

>>>> Sent: Tuesday, March 19, 2019 1:58 PM

>>>>

>>>> Subject: RE: AirBNB short term rental activity concerns within

>>>>

>>> residential neighborhood Dear Mr. Wiggins, We have yet to receive

>>>>

>>> definitive response to the requests submitted herein. The property owner has invoked your name (“There are no ordinance, code, usage, permitting or any other violations per George Wiggins.”) as confirmation / support that all permits were issued and closed by the respective agency for all physical improvements, upgrades and remodeling occurring since 2004. Awareness that the statement of non-violations would not be accurate.

>>>>

>>> You are hereby requested to promptly provide the official documentation supporting the property owner’s claim confirming all permits were duly issued and approved. Please do not communicate again that all of the property improvements occurred prior to being annexed by Winter Park and were subsequently grandfathered in. The “guest house” utilized as a rental unit was functioning as a storage/shed/garage after the Winter Park annexation from Orange County occurred. That vertical structure changed significantly after its annexation into a Winter Park.

>>>>

>>> Note that the following communication(s) shall be escalated to the next level(s) of City management.

>>>>

>>> Regards

>>>>

>>> InterestedCitizen

>>>>

>>> ----- Original Message -----

>>>>

>>> On Monday, March 11, 2019 10:30 PM, InterestdCitizen <InterestdCitizen@protonmail.com> wrote:

>>>>

>>>> Dear Mr. Wiggins,

>>>>

>>>> Thank you for the response.

>>>>

>>>> Considering the publicly available information provided to the various parties via the numerous communication(s), it's disappointing that confirmation of all historical permits prior to 2004 have not yet been provided. Thank you for confirming that Winter Park has not issued the permits for all of the observed physical improvements, upgrades and remodeling to the property from 2004 to the present. With all due respect, it's surprising to observe reliance on the verbal and email communications from the property owner considering that same individual has invoked your name ("There are no ordinance, code, usage, permitting or any other violations per George Wiggins.") as confirmation that all permits were issued and closed for all of the physical improvements, upgrades and remodeling occurring to the property since to 2004. Even if there were a toilet and sink installed prior to 2004 within the "detached garage" to the east and rear of the main residence, its unlikely that it was built to function as a guest residence prior to 2004, never-the-less and more importantly (and most certainly after 2004) the building was not intended (or allowed per code) to be utilized as a "rental" property adhering to the requirements for "rental" usage (even within AirBnB). Let's not forget that the subject property is still located within a single family zoned residential area.

>>>>

>>>> Previously provided data;

>>>>

>>>> Orange County Permitting link

>>>>

>>>>

https://fasttrack.ocfl.net/OnlineServices/Permit_Building.aspx?Search

>>>>

>>>> hID=RES Permit # B00005934 SHED ADDITION
10"X20" STORAGE ADDITION TO

>>>>

>>> EXISTING STRUCTURE issued on 05-01-00. This clearly states in the description that it is a "SHED ADDITION..." The building is listed a 482 sqft FDG - F/Det Garg within Orange County Property Appraise weblink. It is not referenced as a "guest facility (accessory living quarters)"

>>>>

>>>> Permit # E00007212 Electrical Permit issued 05/01/00. The permit only lists 3 fixtures, 7 outlets and 2 switches. Significantly less than the physical attributes that building currently contains. Furthermore, even though the system shows as "complete" Permit # E00007212 is still listed with the Final Issuance with an open status.

>>>>

>>>> Orange County Property Appraiser link still lists the property as a single family residence with the subject building description as a FDG - F/Det Garg. <https://www.ocpafl.org/searches/ParcelSearch.aspx> this description would not support the building as a "guest facility (accessory living quarters)." The OCPA weblink for the subject property reflects that the data contained therein has been updated on several occasions since 2004.

>>>>

>>>> As you are most certainly aware (the property owner as well), Florida Building Codes and local construction ordinances require the following types of permits issued; building, electrical, gas, mechanical, plumbing and roofing. Per your communication, Winter Park has no record of permit(s) issued for the property's carport transformation into an enclosed garage on the main residence. Where is the roofing permit for its replacement after the 2004 / 2005 hurricane events? Where are the permit(s) for the central A/C equipment added to the detached shed / garage as well as the replacement to the main residence? Some of these items would even provide the required dates for data consisting of the manufacturing, sale, installation, etc. Orange County does not list permit information for these events or items.

>>>>

>>>> It's somewhat challenging to arrive at the conclusion that three separate local agencies; Orange County permitting, Orange County Property Appraiser and Winter

Park cannot provide conclusive evidence all permits were issued and closed satisfactory.

>>>>

>>>> Mr. Wiggins, you are most likely aware that the property owner is running for Winter Park Commission Seat # 4. Thus, it is imperative that the concerns raised herein are definitively and conclusively addressed, sooner rather than later.

>>>>

>>>> regards

>>>>

>>>> InterestdCitizen

>>>>

>>>> ----- Original Message -----

>>>>

>>>> On Thursday, March 7, 2019 1:37 PM, George Wiggins <Gwiggins@cityofwinterpark.org> wrote:

>>>>

>>>> To: InterestdCitizen

>>>>

>>>> Following up on your inquiry, in February, I met with the property owner, and he stated the following by email and in person:

>>>>

>>>> "The east half of the building (workshop) in question was grandfathered in when I bought the property in 1997. The existing building had a toilet, work sink and a shower when I bought it. The original underground plumbing is still intact.

>>>>

>>>> Orange County permitted the west half in 1999, which is basically a mirror image of the east half. The entire structure was tied together under that permit. The

permitted west half complied with all setback and other OC codes at that time. That permit had an underground 100-amp service to the south wall, which is original and in its original placement. All work was inspected and approved by Orange County and a CO was awarded.

>>>>

>>>> Since those files are older than anything I keep, including tax records, one would have to probe Orange County records to retrieve them.”

>>>>

>>>> Therefore, when this property was annexed into the City in 2004, there existed a grandfathered in guest facility (accessory living quarters) which is not unusual when properties are annexed.

>>>>

>>>> Also, we do not have a Certificate of Occupancy for any of the buildings on that property since those structures were built while in unincorporated Orange County.. However, we have forwarded to you the permits obtained in the City over the years since this property was annexed.

>>>>

>>>> Thank you for your attention to this matter.

>>>>

>>>> [\[cid:image001.jpg@01D434C6.FE720040\]](#)

>>>>

>>>> City of Winter Park

>>>>

>>>> 401 Park Ave. South

>>>>

>>>> Winter Park, FL. 32789

>>>>

>>>> cityofwinterpark.org<http://cityofwinterpark.org>

>>>>

>>>> George Wiggins

>>>>

>>>> Director of Bldg/Legis Affairs

>>>>

>>>> Building & Permitting Services

>>>>

>>>> 407.599.3426

>>>>

>>>> From: George Wiggins

>>>>

>>>> Sent: Tuesday, March 5, 2019 11:24 AM

>>>>

>>>> To: 'InterestdCitizen'

>>>>

>>>>

<InterestdCitizen@protonmail.commailto:InterestdCitizen@protonmail.c

>>>>

>>>> om>

>>>>

>>>> Cc: Keri Martin

>>>>

>>>>

<kmartin@cityofwinterpark.orgmailto:kmartin@cityofwinterpark.org>;

>>>>

>>>> Theresa Dunkle

>>>>

>>>>

tdunkle@cityofwinterpark.org<mailto:tdunkle@cityofwinterpark.org>

>>>>

>>>> Subject: RE: AirBNB short term rental activity concerns within

>>>>

>>>> residential neighborhood

>>>>

>>>> To: InterestdCitizen

>>>>

>>>> On Jan 5 you sent me a message regarding advertisement of 1051 Lake Bell Dr property being advertised as an Airbnb, to which I responded on Jan 7, 7AM that you should contact Safety and Code Compliance Division to report code violation and I gave you the web site link to facilitate your inquiry. On Jan 25, Ms. Keri Martin, our City's Risk Manager who oversees Safety and Code Compliance requested my assistance in providing additional requested information concerning structures on this property. On the same day I asked Theresa Dunkle, one of our code analyst plans examiners, to forward information regarding documentation concerning permitting activity that has occurred on the property at 1051 Lake Bell Drive. That information found (fence permit)was later forwarded to you, which is included in the attached document.

>>>>

>>>> In addition, we did find that a paver permit was issued for the driveway on that property, however, I did not feel it was germane to your inquiry about vertical structures on the property and the subject of your inquiry. I am attaching a copy of that paver permit for your information.

>>>>

>>>> I must go to a meeting but will get back with you on information related to your inquiry later.

>>>>

>>>> Since the AirBnB issue has been dealt with by our Code Compliance Division, I am not aware of any other violations on this property.

>>>>

>>>> [\[cid:image001.jpg@01D434C6.FE720040\]](#)

>>>>

>>>> City of Winter Park

>>>>

>>>> 401 Park Ave. South

>>>>

>>>> Winter Park, FL. 32789

>>>>

>>>> cityofwinterpark.org<http://cityofwinterpark.org>

>>>>

>>>> George Wiggins

>>>>

>>>> Director of Bldg/Legis Affairs

>>>>

>>>> Building & Permitting Services

>>>>

>>>> 407.599.3426

>>>>

>>>> From: InterestdCitizen

>>>>

>>>>

<InterestdCitizen@protonmail.com[mailto:InterestdCitizen@protonmail.c](mailto:InterestdCitizen@protonmail.com)

>>>>

>>>> om>

>>>>

>>>> Sent: Monday, March 4, 2019 10:36 PM

>>>>

>>>> Subject: RE: AirBNB short term rental activity concerns within

>>>>

>>>> residential neighborhood Dear Mr. Wiggins, Its been more than two

>>>>

>>>> months since requesting (via multiple communications) for confirmation along with the official permit documentation / information (i.e. official permitting records, issued and closed) expected for all property improvements / modifications performed to 1051 Lake Bell Drive, Winter Park, Florida 32789 Parcel # 02-22-29-0065-03-040. The request also includes subject building described as a "detached garage" (Orange County property appraiser website - FDG - F/Det Garg) located to the rear of the property utilized as the AIRBandB "rental" which has been described as a "studio" and "cottage".

>>>>

>>>> Your name was mentioned by the owner of the subject property in a circulated email communication as follows, "There are no ordinance, code, usage, permitting or any other violations per George Wiggins."

>>>>

>>>> Mr. Wiggins where is the requested information including certificate of occupancy for the "studio" and/or "cottage" to function as a "rental"?

>>>>

>>>> Mr. Wiggins, once again, it is respectfully requested that the information be provided post haste.

>>>>

>>>> On February 21, 2019, Mike Lafferty of the Orlando Sentinel

>>>>

>>>> published an opinion piece titled "Fact or fake: Did a Winter Park

>>>>

>>>> candidate's Airbnb rentals violate city rules?

>>>>

>>>> <https://www.orlandosentinel.com/opinion/fact-or-fake/os-op-winter-pa>

>>>>

>>>> rk-election-fact-or-fake-20190220-story.html Even though the opinion

>>>>

>>>> piece concluded as being "Mostly Fact", the article did not address

>>>>

>>>> that a fact check was performed on all candidates referenced

>>>>

>>>> therein. There was no mention within the article that a publicly

>>>>

>>>> available information check was also performed to confirm "facts"

>>>>

>>>> about this "cottage" including its permitting information (or lack

>>>>

>>>> thereof). Three separate local agencies / departments, Orange County

>>>>

>>>> Property Appraiser, Orange County Permitting including Winter Park

>>>>

>>>> have yet to provide conclusive and/or definitive responses for the

>>>>

>>>> information requested. This article did not confirm timing thereof

>>>>

>>>> for the following statement, "once he learned of it, changed the ad

>>>>

>>>> to indicate a minimum 30-day stay was needed." When exactly did this

>>>>

>>>> occur? Did this occur prior to or after the candidate's recorded

>>>>

>>>> appearance on the July 9, 2018 Public Comments [items not on the

>>>>

>>>> agenda] regarding Air BandB's topic where "He asked that the

>>>>

>>>> Commission also consider a compromise"?

>>>>

>>>> <https://cityofwinterpark.org/docs/government/city-commission/minutes>

>>>>

>>>> /min-2018-07-09.pdf This article did not mention if inquiries to the

>>>>

>>>> relevant Winter Park department were performed regarding the AirBandB related concerns for the subject property including those noticed adjacent to either side of said property as well as those noticed within the immediate neighborhood. Perhaps the referenced ad change did not occur until after the recent concerns of the AirBandB activities were communicated to the City?

>>>>

>>>> regards

>>>>

>>>> InterestdCitizen

>>>>

>>>> ----- Original Message -----

>>>>

>>>> On Wednesday, February 20, 2019 1:59 AM,
InterestdCitizen
<InterestdCitizen@protonmail.commailto:InterestdCitizen@pr
otonmail.com> wrote:

>>>>

>>>> Dear Ms. Martin,

>>>>

>>>> thank you for the email communication and the
attachment for the fence permit.

>>>>

>>>> Dear Mr. Wiggins,

>>>>

>>>> Follow up to Ms. Martin's advisory in email below
dated January 31, 2109. The attachment provided by Ms.
Martin for the fence permit appears to depict property
status within the Plot Plan section including the main
residence improvements / modifications and also lists the
detached garage located to the rear of the property utilized
as the AIRBNB rental as a "studio". Please provide
confirmation along with official permit documentation for the
requested information (i.e. official permitting records)
expected for all property improvements / modifications to
1051 Lake Bell Drive, Winter Park, Florida 32789 Parcel #
02-22-29-0065-03-040.

>>>>

>>>> Three separate agencies / departments, Orange
County Property Appraiser, Orange County Permitting
including Winter Park have not yet provided conclusive
responses to the requests for public information.

>>>>

>>>> regards

>>>>

>>>> InterestdCitizen

>>>>

>>>> ----- Original Message -----

>>>>

>>>> On Thursday, January 31, 2019 1:38 PM, Keri Martin
<kmartin@cityofwinterpark.org<mailto:kmartin@cityofwinterpark.org>> wrote:

>>>>

>>>> Good afternoon,

>>>>

>>>> Attached is the only permit found by the Building
Department that is responsive to your request.

>>>>

>>>> I referred the balance of your email request for
official documentation regarding the property improvements
to George Wiggins for response.

>>>>

>>>> Kind regards,

>>>>

>>>> Keri

>>>>

>>>> From: InterestdCitizen

>>>>

>>>>
<InterestdCitizen@protonmail.com<mailto:InterestdCitizen@protonmail.com>>

>>>>

>>>> om>

>>>>

>>>> Sent: Tuesday, January 29, 2019 6:14 AM

>>>>

>>>> Subject: RE: AirBNB short term rental activity concerns within

>>>>

>>>> residential neighborhood Dear Ms. Porras, Thank you for the advisory

>>>>

>>>> and due diligence. Please provide confirmation for when the balance of the requested information (i.e. official permitting records) should be expected for 1051 Lake Bell Drive, Winter Park, Florida 32789 Parcel # 02-22-29-0065-03-040.

>>>>

>>>> As previously requested, please provide specific website link(s) and/or official documentation which definitively confirms that all applicable permits were issued and closed to support the detached structure built or converted to a residential / rental property including its certificate of occupancy. As well as the official permitting records for all property improvements and/or modifications performed to the property over the years.

>>>>

>>>> If official records do not exist for the subject property, it would then be reasonable to surmise that the detached building should not have been advertised and/or utilized as rental accommodation including within AIRBNB for the past several years. It would also be reasonable to surmise that most, if not all, of the property improvements and/or modifications were facilitated without proper permits being issued from the respective agency.

>>>>

>>>> The expectation would be that all property owners adhere to the same legal requirements and standards regardless of who they may be or may want to become in the near future. Based on the readily available public information, including the property owner's campaign

information, its surprising to learn that the base knowledge of the requirements is lacking by this property. It would be reasonable to surmise that someone who was a "past Orange County Lakes Advisory Board and Past Chairman of Winter Park Lakes and Waterways Advisory Board" would understand what is required. Especially considering that the individual "has held a Florida General Contractor license for nearly 30 years and has redeveloped multiple residential and commercial properties in Florida, while never asking for variances or zoning changes."

>>>>

>>>> regards

>>>>

>>>> InterestdCitizen

>>>>

>>>> <image002.png>

>>>>

>>>> <image003.png>

>>>>

>>>> <image001.jpg>

From: InterestdCitizen <InterestdCitizen@protonmail.com>
Sent: Friday, December 17, 2021 1:00 PM
To: Peter Weldon
Subject: RE: RE: [External] RE: AirBNB short term rental activity concerns within residential neighborhood

The City has an ethical issue on its hands, Weaver continues to have occupants staying in the illegal structure to this day.

As of today, Male, drives a Gray/Silver Jeep SUV tag # NFHU80, is currently parked on the street in front of the property. Has been here since last week, not on the weekend, back again this past Monday.

Photos were available on AirBnB ad that the Weaver uploaded to. This evidence was provided in several of the earlier emails sent 2 or 3 years ago.

The following information including picture of Mr. Weaver's Advertisement was sent via about 2 years ago email to various City officials/personnel (yourself included). Weaver's picture is also included at bottom of the AD itself.

Winter Park CITY COMMISSION MEETING MINUTES JULY 9, 2018 PAGE 7 regarding AirBNB:

<https://cityofwinterpark.org/docs/government/city-commission/minutes/min-2018-07-09.pdf>

CITY COMMISSION MEETING MINUTES JULY 9, 2018 PAGE 7

Public comments {items not on the agenda):

Shawn Shaffer, Executive Director, Winter Park Library, provided their annual report to the Commission.

Tom McMacken, 1821 Shiloh Lane, expressed code enforcement concerns with the property behind him being rented out too often and with too many people making noise late in the evening. He asked that short term rentals in the City be further enforced and to do more.

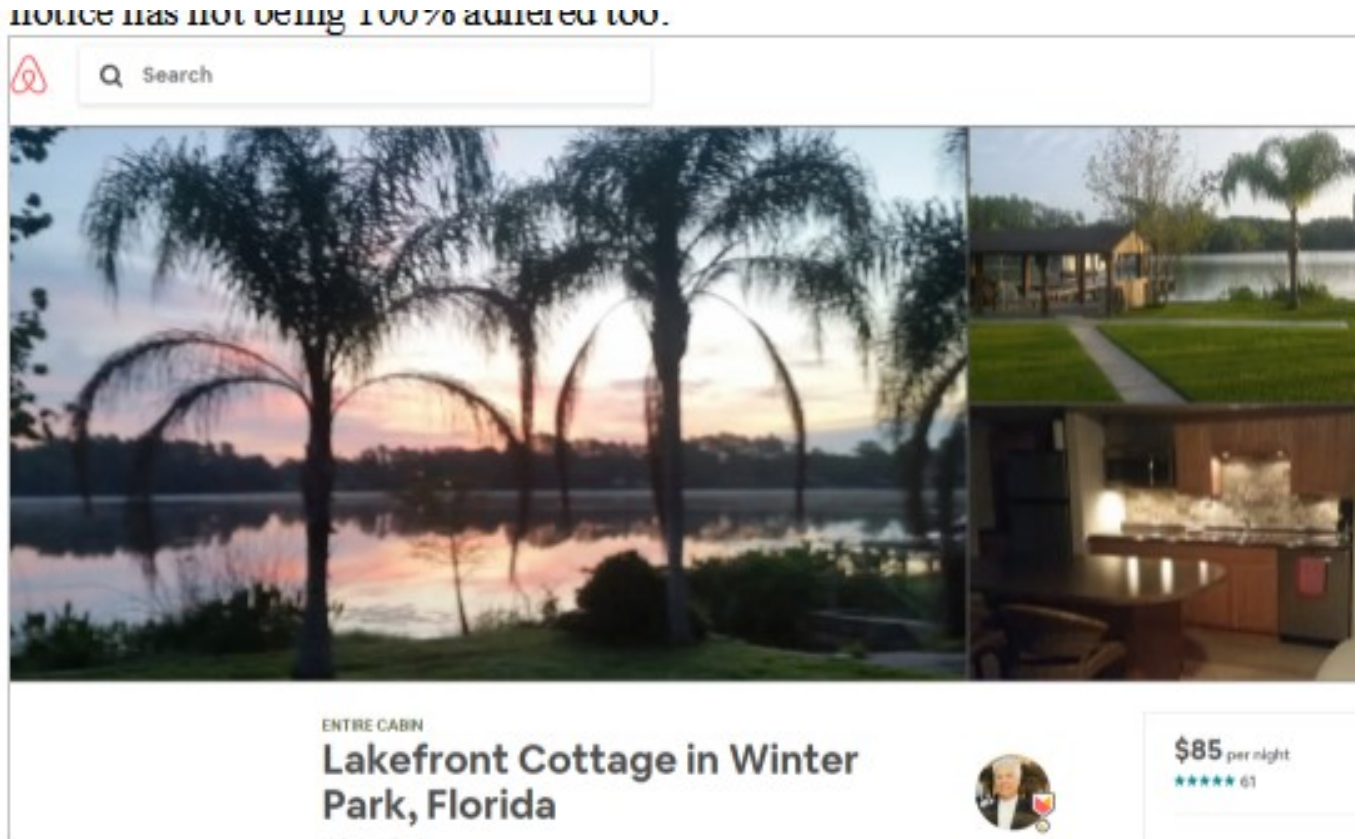
Todd Weaver, 1051 Lake Bell Drive, also addressed the large number of Air BandB's operating in his neighborhood. He stated that Orlando and Osceola County and other municipalities reached a compromise that people who are homesteaded on their homes are

allowed to have short term rentals and the absentee landlords tend to be the problem. He asked that the Commission also consider a compromise. The meeting adjourned at 5:03p.m.

Mr. Weaver's AirBnB advertisement including descriptions and some of the reviews as early as 2017. Link copy paste photo from the advertisement shown below.

<https://www.airbnb.com/rooms/14711105?location=Winter%20Park%2C%20FL%2C%20USA&adults=1&guests=1&s=OnJ5oGDh>

The AirBNB advertisement was recently updated to include the local ordinance rule "minimum 30 days stay". Quite a coincidence or perhaps timing considering that Mr. Weaver is running for a commission seat? The minimum stay notice has not being 100% adhered too.



There are other AirBnB rental places in the neighborhood as Mr. Weaver has communicated during the July 2018 Commission Meeting.

----- Original Message -----

On Wednesday, November 24, 2021 9:35 PM, Peter Weldon <peterjweldon@outlook.com> wrote:

Any chance you can help with photos?

Regards, Pete Weldon

From: Peter Weldon
Sent: Wednesday, November 17, 2021 7:51 AM
To: InterestdCitizen <InterestdCitizen@protonmail.com>
Subject: RE: RE: [External] RE: AirBNB short term rental activity concerns within residential neighborhood

You can help further by sending pictures (preferably with date:time stamps) of the accessory building, both exterior and interior if possible.

A case needs to be built to force the city or a plaintiff to depose Weaver under oath. The pictures are very important in this process.

Regards, Pete Weldon

From: InterestdCitizen <InterestdCitizen@protonmail.com>
Sent: Tuesday, November 16, 2021 7:26 PM
To: Peter Weldon <peterjweldon@outlook.com>; peter.weldon@winterparkperspective.org
Subject: RE: RE: [External] RE: AirBNB short term rental activity concerns within residential neighborhood

Mr Weldon,

Mr Weaver is seeking reelection for commissioner seat 4 in 2022. Note that Mr. Weaver has continued to rent the illegal structure on his property. The following vehicles were short-termed parked in front of the property occupying the illegal structure for the previous 4-5 weeks. Mr. Weaver continues to actively project that some laws, ordinances, rules, etc., do not apply to himself, they only apply to others.

Black Toyota Tundra pickup

White Hyundai Sonata Florida license plate 054PMO

Light Gray/Silver KIA Forte Delaware license plate 979909

Dark Gray Honda HR-V Florida license plate LRRD47

Mr. Weaver continues to display ethical challenges contrary to the City's as well as statements contained within his reelection platform per the link which follows:

<https://www.weaver4winterpark.com/todds-platform>

"Stewardship:

Todd will continue to prioritize protecting the existing green space and tree canopy that form the cornerstone of Winter Park. Todd believes in sustainable growth. As a former real estate investor, **Todd respects Winter Park's zoning codes and Comprehensive Plan.** He will bring creative solutions to the city's projects in an effort to work within the codes as defined rather than seek variances. He believes that the city needs to seriously consider the choices it makes about infrastructure and what Winter Park will look like in ten or twenty years. #LeaveaLegacy #hometownWP"

"Open Government:

Todd believes Winter Park citizens deserve a responsive and transparent city government that represents THEIR vision of how Winter Park grows and how THEIR tax dollars are spent.

Todd supports a Code of Conduct for Winter Park City officials. He believes that city officials have an obligation to recuse themselves on votes to avoid even the appearance of a conflict of interest. Adoption of a code of ethics governing city officials was supported by over 70% of Winter Park voters in a previous election, yet none was ever enacted."

----- Original Message -----

On Tuesday, October 12th, 2021 at 8:01 PM, InterestdCitizen

<InterestdCitizen@protonmail.com> wrote:

Mr. Weldon,

We should not have to divulge our identities to communicate questionable behavior by a public person. The repeated behavioral pattern can be readily determined and pursued by competent government agencies and their personnel. The evidence is readily available historically, logically, physically, visually and within the various responsible agencies' data bases. Needless to state, but without permits being pulled and approved agencies would be hard pressed to accurately access that changes to property are to code and apply appropriate tax assessment valuation for the improvements to property.

Correction, the area was annexed by Winter Park in 2003, not in 2005.

<https://cityofwinterpark.org/docs/government/ordinances-resolutions/2002-08.pdf>

The Orange County property appraiser's website link also provides aerial pictorial history for the property's progression from 2005 until now. The picture (pasted below) within the link which follows shows that the main residence still had a carport as of May 2005. The carport shows up as an enclosed garage in the 2007 picture. Keep in mind that this is just one example.

<https://maps.ocpafl.org/ObliqueView/Default.aspx?pid=292202006503040>



regards

----- Original Message -----

On Tuesday, October 12th, 2021 at 12:57 PM, Peter Weldon
<peterjweldon@outlook.com> wrote:

I appreciate and share your concerns.

The only way I can see to address what are most likely Mr. Weaver's non compliance with code and lies is for someone with first hand knowledge to prosecute the issues in court, testifying under oath along with Mr. Weaver.

I do not expect the city to take enforcement actions against a sitting commissioner.

Presuming you have first hand knowledge of the claims below, I would be willing to assist should you be willing to come forward and prosecute the claims.

Regards, Pete Weldon

From: InterestdCitizen <InterestdCitizen@protonmail.com>
Sent: Monday, October 11, 2021 8:21 PM
To: Peter Weldon <peterjweldon@outlook.com>
Subject: RE: RE: [External] RE: AirBNB short term rental activity concerns within residential neighborhood

Mr. Weldon,

1. The understanding is that Mr. Weaver did convert the prior smaller freestanding structure into a unfinished garage/storage building. However, this structure was not permitted at the time for human occupancy including kitchen, bathroom with shower, sleeping quarters, etc. Note that the neighborhood is on septic tank system, the freestanding structure in question was not tied to the property's septic

system. Where is the permit for this activity? The upgrades to that freestanding structure in question as well as to the main residence were performed long after this area was annexed into Winter Park when it occurred back in 2005. That freestanding structure was still functioning as a 2 car garage/workshop well past 2010. To-date, zero evidence has been provided to substantiate that it was permitted to do so prior to 2005 or even after. In fact, permits were not pulled for upgrades to the main residential structure. For example, Mr. Weaver converted the one carport space in the front facing the street into an enclosed garage without a permit. There was no wall to the east or a garage door to the south.

Reference Statute FS 553.79 Permits, applications; issuance; inspections.--

It shouldn't be that much of a challenge for competent code and permitting personnel to identify age, traceability, etc., of installed components/materials.

We find it farfetched and rather amusing receiving communication as being grandfathered into the City after annexation. Mr. Weaver is in essence conveying that Orange County government is/or has been incompetent when it comes to record retention for crucial documents such as building permits, inspections, notice of commencement, electrical, plumbing, mechanical and gas work permit, certificate of occupancy, engineer's stamp of approval(s) for plans, etc.

2. Mr. Weaver continues to have occupants stay in that free standing structure. The specific vehicle descriptions and tag #s have been previously provided. He had numerous non-family members stay in the freestanding structure even after being told not to do so by the City.

----- Original Message -----

On Friday, October 8th, 2021 at 11:30 AM, Peter Weldon <peterjweldon@outlook.com> wrote:

Exhibit I

maps.ocpafl.org/ObliqueView/Default.aspx?pid=292202006503040

Orange County Property Appraiser Florida

05/26/2005 May 2005 - Jul 2005

03-030

03-040

owner_name: WEAVER TODD C LIFE ESTATE

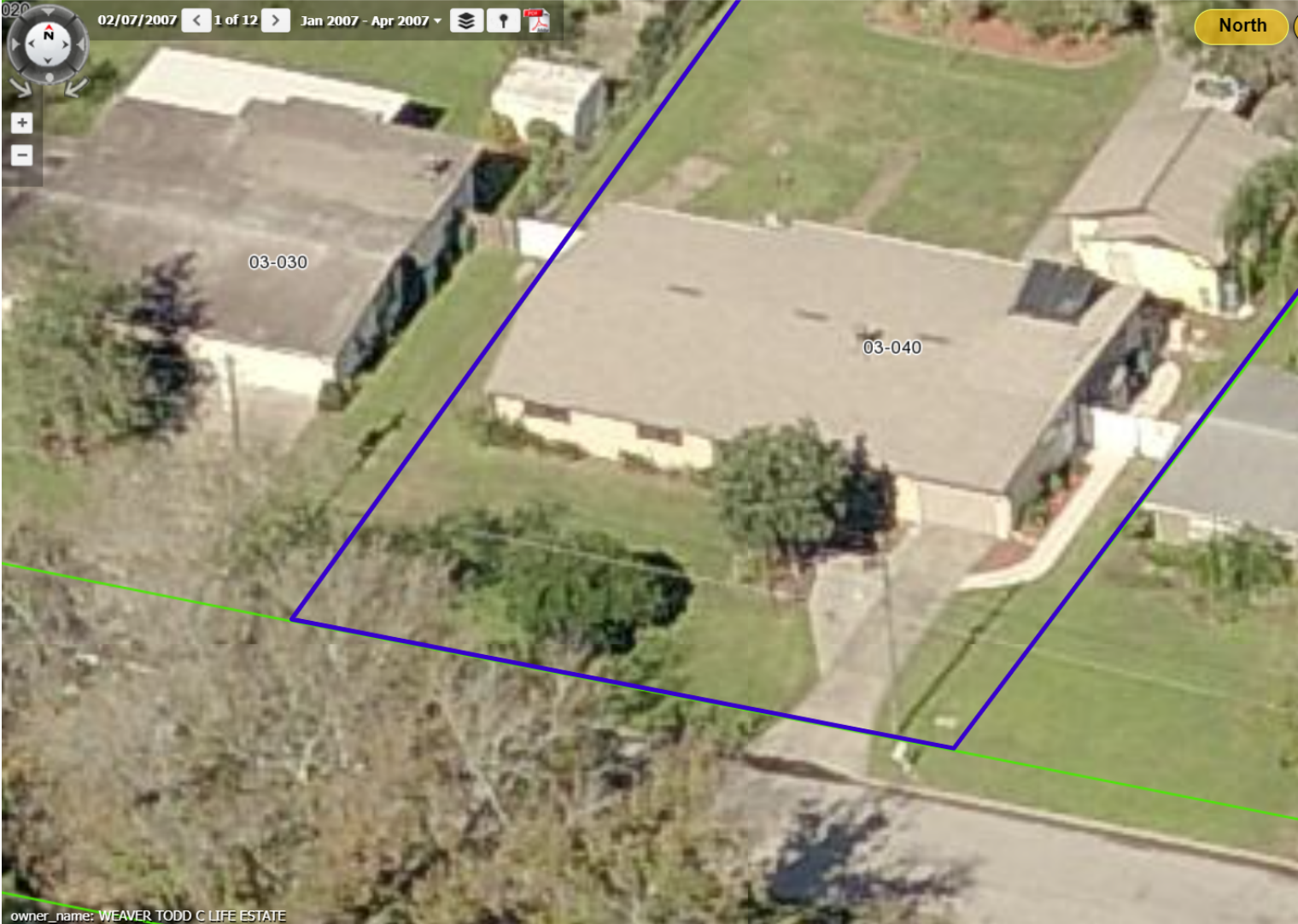
An aerial oblique view of a residential property. A blue boundary line outlines a large area that includes a house with a tan roof, a driveway with a red car, and a lawn. A green line is visible at the bottom of the frame. The interface includes a navigation compass, zoom controls, and a date range selector. The text '03-030' and '03-040' are overlaid on the image. The bottom left corner contains the text 'owner_name: WEAVER TODD C LIFE ESTATE'. The top of the page features the Orange County Property Appraiser logo and the text 'Orange County Property Appraiser Florida'. The browser address bar shows the URL 'maps.ocpafl.org/ObliqueView/Default.aspx?pid=292202006503040'.



02/07/2007 1 of 12 Jan 2007 - Apr 2007



North




owner_name: WEAVER TODD C LIFE ESTATE

peterjweldon@outlook.com

From: George Wiggins <Gwiggins@cityofwinterpark.org>
Sent: Friday, November 5, 2021 10:38 AM
To: 'Peter Weldon'
Subject: RE: Question

Mr. Weldon

Yes; a permit is required to enclose a carport and add a garage door. This has been a requirement at all times in the past due to the need to comply with the Building and Zoning Codes.

 <p>City of Winter Park 401 Park Ave. South Winter Park, FL. 32789 cityofwinterpark.org</p>	<p>George Wiggins Former Director of Bldg/Legis Affairs Building & Permitting Services</p> <p>407.599.3426</p>
--	---



Under Florida law, email addresses and written correspondence with the city become public record and must be made available to the public and media upon request (unless otherwise exempt). If you do not want your email address to be public record, please contact our office by phone.

From: Peter Weldon <peterjweldon@outlook.com>
Sent: Thursday, November 4, 2021 4:04 PM
To: George Wiggins <Gwiggins@cityofwinterpark.org>
Subject: [External] Question

George,

I see your email address is still active! You are supposed to be retired!

Given you have yet to get away from the grind I would like to know if a permit is required to enclose a car port as a garage with a garage door. If so, can you tell me how far back in time such changes have required a building permit?

Thanks, Pete Weldon

Property Record - 02-22-29-0065-03-040

Orange County Property Appraiser • <http://www.ocpafl.org>

Property Summary

Property Name

1051 Lake Bell Dr

Names

Weaver Todd C Life Estate
Rem: Todd C Weaver Revocable Trust

Mailing Address

1051 Lake Bell Dr
Winter Park, FL 32789-1805

Physical Address

1051 Lake Bell Dr
Winter Park, FL 32789

Municipality

WP - Winter Park

Property Use

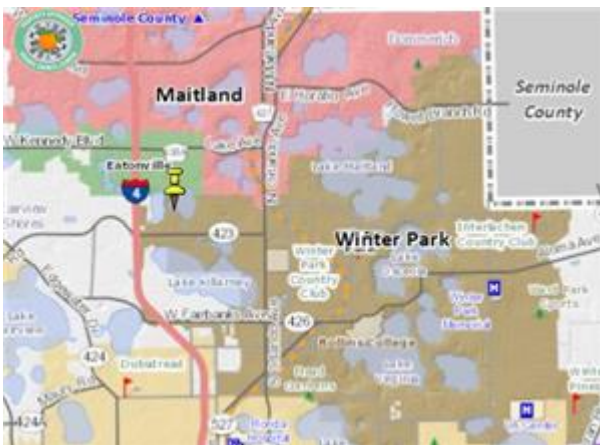
0130 - Sfr - Lake Front



QR Code For Mobile Phone



292202006503040 03/30/2006



Value and Taxes

Historical Value and Tax Benefits

Tax Year Values		Land		Building(s)		Feature(s)	Market Value	Assessed Value
2021		\$225,000	+	\$204,490	+	\$15,500 =	\$444,990 (-.42%)	\$219,823 (1.4%)
2020		\$225,000	+	\$206,386	+	\$15,500 =	\$446,886 (-.42%)	\$216,788 (2.3%)
2019		\$225,000	+	\$208,282	+	\$15,500 =	\$448,782 (11%)	\$211,914 (3.6%)
2018		\$170,000	+	\$222,701	+	\$10,000 =	\$402,701	\$204,528

Tax Year Benefits		Original Homestead	Additional Hx	Other Exemptions	SOH Cap	Tax Savings
2021		\$25,000	\$25,000	\$0	\$225,167	\$4,174
2020		\$25,000	\$25,000	\$0	\$230,098	\$4,322
2019		\$25,000	\$25,000	\$0	\$236,868	\$4,503
2018		\$25,000	\$25,000	\$0	\$198,173	\$3,927

2021 Taxable Value and Estimate of Proposed Taxes

Taxing Authority	Assd Value	Exemption	Tax Value	Millage Rate	Taxes	%
Public Schools: By State Law (Rle)	\$219,823	\$25,000	\$194,823	3.4890 (-3.33%)	\$679.74	24 %
Public Schools: By Local Board	\$219,823	\$25,000	\$194,823	3.2480 (0.00%)	\$632.79	22 %
Orange County (General)	\$219,823	\$50,000	\$169,823	4.4347 (0.00%)	\$753.11	26 %
City Of Winter Park	\$219,823	\$50,000	\$169,823	4.0923 (0.00%)	\$694.97	24 %
City Of Winter Park Debt Service 2011	\$219,823	\$50,000	\$169,823	0.0000 (-100.00%)	\$0.00	0 %
City Of Winter Park Debt Service 2017 & 2020	\$219,823	\$50,000	\$169,823	0.2891 (-4.43%)	\$49.10	2 %
St Johns Water Management District	\$219,823	\$50,000	\$169,823	0.2287 (0.00%)	\$38.84	1 %
				15.7818	\$2,848.55	

2021 Non-Ad Valorem Assessments

Levying Authority	Assessment Description	Units	Rate	Assessment
There are no Non-Ad Valorem Assessments				

Property Features

Property Description

ALBERT LEE RIDGE 2ND ADDITION U/80 LOT 4 BLK C

Total Land Area

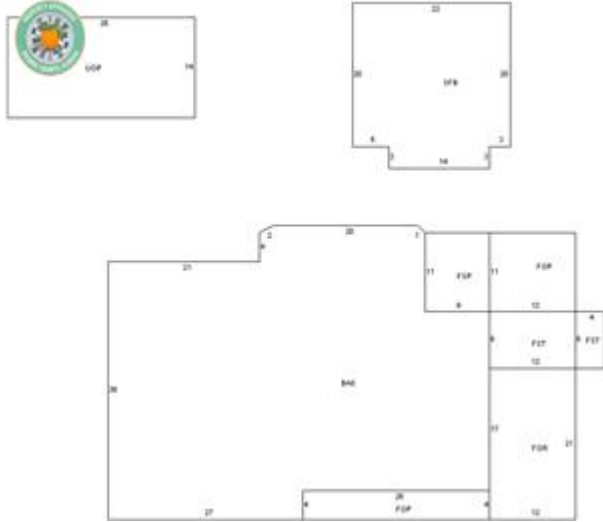
38,745 sqft (+/-) | 0.89 acres (+/-) GIS Calculated

Land

Land Use Code	Zoning	Land Units	Unit Price	Land Value	Class Unit Price	Class Value
0130 - Sfr - Lake Front	R-1A	1 LOT(S)	\$225,000.00	\$225,000	\$0.00	\$225,000

Buildings

Model Code	01 - Single Fam Residence	Subarea Description	Sqft	Value
Type Code	0103 - Single Fam Class III	BAS - Base Area	1855	\$194,738
Building Value	\$204,490	FGR - Fin Garage	252	\$13,227
Estimated New Cost	\$270,848	FOP - F/Opn Prch	236	\$6,194
Actual Year Built	1957	FSP - F/Scr Prch	99	\$3,674
Beds	3	FST - Fin Storge	128	\$6,719
Baths	2.0	SFB - Sem F Base	482	\$40,522
Floors	1	UOP - Unf O Prch	364	\$5,774
Gross Area	3416 sqft			
Living Area	2337 sqft			
Exterior Wall	Cb.Stucco			
Interior Wall	Plastered			



Extra Features

Description	Date Built	Units	Unit Price	XFOB Value
BD2 - Boat Dock 2	01/01/1994	1 Unit(s)	\$4,000.00	\$4,000
BC2 - Boat Cover 2	01/01/1994	1 Unit(s)	\$4,000.00	\$4,000
SBCT - Shuffleboard Court	01/01/2000	1 Unit(s)	\$2,000.00	\$2,000
PT2 - Patio 2	12/31/2013	1 Unit(s)	\$2,000.00	\$2,000
FNT1 - Decorative Fountain	12/31/2018	1 Unit(s)	\$1,000.00	\$1,000
FPL2 - Fireplace 2	12/31/2018	1 Unit(s)	\$2,500.00	\$2,500

Sales

Sales History

Sale Date	Sale Amount	Instrument #	Book/Page	Deed Code	Seller(s)	Buyer(s)	Vac/Imp
06/25/2019	\$100	20190485817/		Quitclaim Deed	Weaver Todd	Weaver Todd C Life Estate Rem: Todd C Weaver Revocable Trust	Improved
12/14/2018	\$100	20190485818/		Corrective Deed	Weaver Todd Weaver Janice	Weaver Todd	Improved
07/27/2011	\$100	20110521684 10275 / 9365		Quitclaim Deed	Weaver Todd Weaver Janice	Weaver Todd	Improved
02/23/1998	\$179,900	19980066618 05421 / 3215		Warranty Deed	Belanger Michael W Belanger Judy A	Weaver Todd Weaver Janice	Improved
08/01/1980	\$65,000	19801553845 03133 / 1512		Warranty Deed			Improved
10/01/1977	\$45,000	19771161508 02829 / 0870		Warranty Deed			Improved
06/01/1968	\$23,500	19680195220 01727 / 0968		Warranty Deed			Improved